

**TAB D**  
**APPLICABLE CPSM CHAPTERS AND APPENDICES**

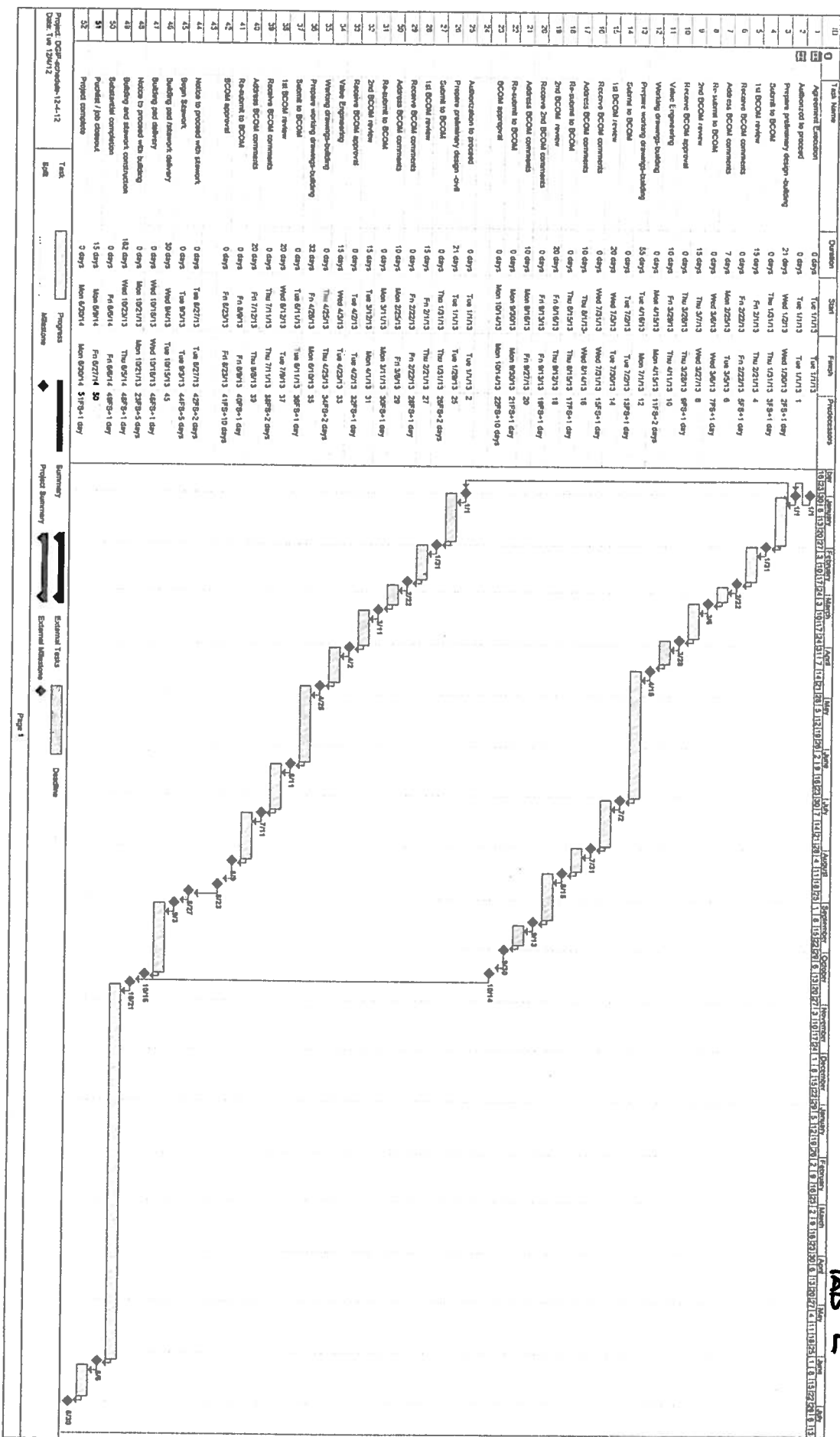
**Chapters 1, 2, 3, 7, 8, 9 (except for 900 series), 11, 12, and 13**

**and**

**Appendices B, C, D, G, M, N, O, P, R and S**

**TAB E**  
**PROJECT SCHEDULE**

See attachment.



**TAB F**  
**PROJECT COST SUMMARY**

See attachment.

**DGIF**  
**PROJECT COST SUMMARY**  
**COMPREHENSIVE AGREEMENT**

**Tab F**  
**12/7/2012**

<b>PROJECT COST SUMMARY</b>	
<b>DESCRIPTION</b>	<b>COST</b>
<b>Sitework / Building (per K+L Concept Budget 1.7)</b>	<b>7,683,414</b>
<b>Interim Agreement ( Per revised I.A Exhibit A)</b>	<b>303,324</b>
<b>Soft Cost ( per Soft Cost Budget Exhibit A )</b>	<b>2,013,257</b>
<b>TOTAL</b>	<b>9,999,995</b>

**DGIF  
SOFT COST BUDGET  
COMPREHENSIVE AGREEMENT**

**Tab F  
Exhibit A  
12/7/2012**

<b>DESCRIPTION</b>	<b>COST</b>
<b>Developer profit and overhead</b>	<b>744,583</b>
<b>Legal</b>	<b>20,000</b>
<b>Planning and design coordination</b>	<b>350,000</b>
<b>Consulting - permit period</b>	<b>45,000</b>
<b>Civil engineering</b>	<b>153,590</b>
<b>Architecture / engineering</b>	<b>543,084</b>
<b>Materials testing/certification</b>	<b>40,000</b>
<b>Survey/as built</b>	<b>10,000</b>
<b>Permits -Hanover County /VDOT</b>	<b>4,000</b>
<b>Water sewer fees</b>	<b>-</b>
<b>SWM fee</b>	<b>63,000</b>
<b>Bonds/ L.O.C.- Hanover County/VDOT</b>	<b>10,000</b>
<b>Bonds/ L.O.C.- performance</b>	<b>-</b>
<b>Insurance/ license fees</b>	<b>30,000</b>
<b>TOTAL</b>	<b>2,013,257</b>

**Revisions to "estimated" line items of Interim Agreement- Exhibit A.**

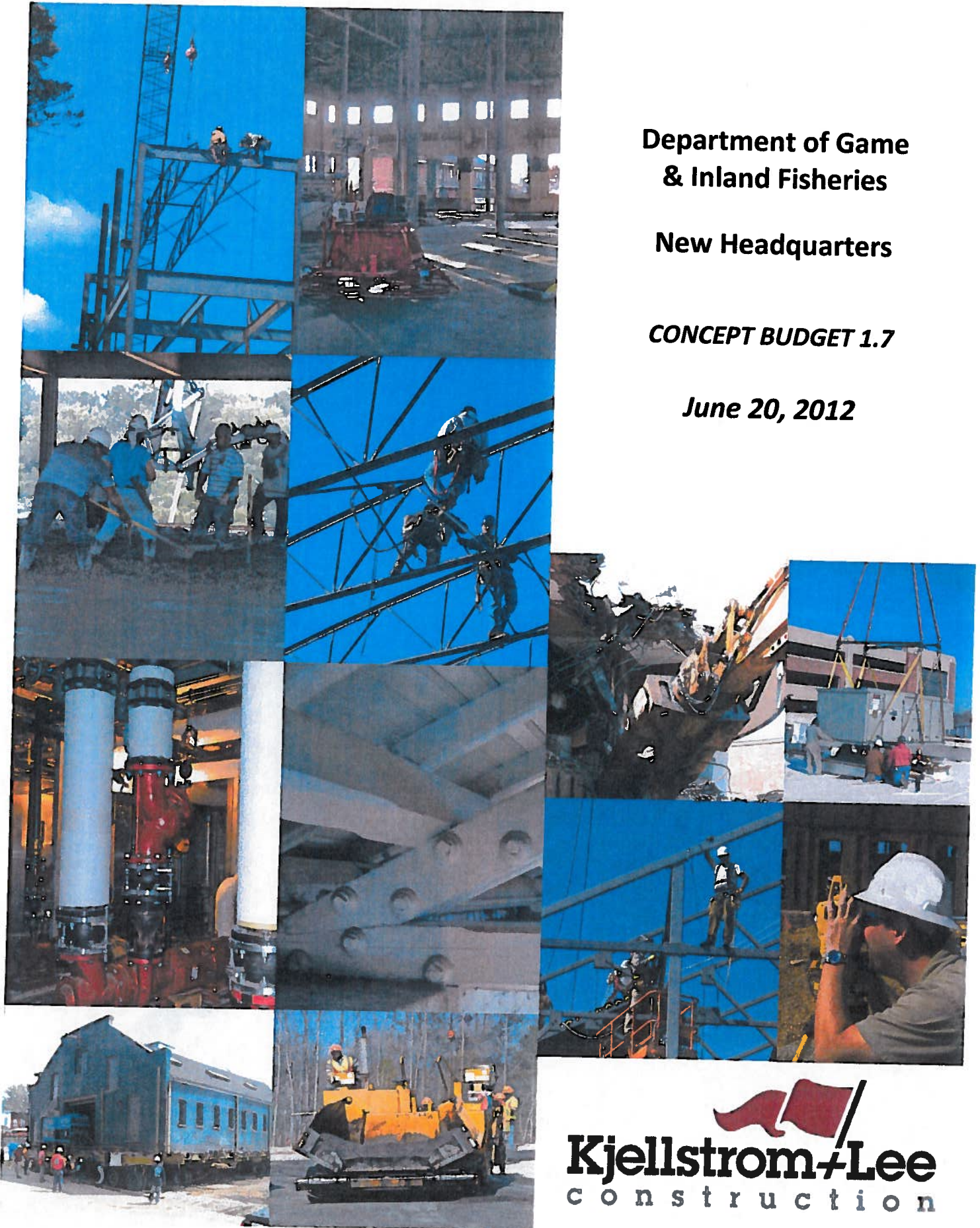
<b>Soft Costs Summary</b>	<b>Interim Agreement</b>	<b>To Date Per Application # 10</b>	<b>Revised 12-7-12</b>	<b>Difference</b>
<b>Legal</b>	50,000.00	64,941.00	80,000.00	30,000.00
<b>Arctitecture</b>	39,056.00	39,056.00	39,056.00	-
<b>Civil Engineering</b>	34,500.00	15,173.31	15,500.00	(19,000.00)
<b>Geotechnical</b>	7,000.00	3,650.00	3,650.00	(3,350.00)
<b>Survey - subdivision</b>	5,000.00	4,000.00	4,000.00	(1,000.00)
<b>Survey - legal description</b>	600.00	-	-	(600.00)
<b>Survey - ALTA</b>	5,000.00	4,785.00	7,500.00	2,500.00
<b>Survey - topography</b>	7,000.00	4,500.00	5,000.00	(2,000.00)
<b>Survey - easements</b>	2,250.00	750.00	2,000.00	(250.00)
<b>Recordation / county fees</b>	1,000.00	600.00	1,000.00	-
<b>Contractor budgeting / value engineering</b>	10,000.00	-	-	(10,000.00)
<b>Consultant fees</b>	12,000.00	12,000.00	12,000.00	-
<b>Project management / project admin</b>	32,000.00	32,000.00	32,000.00	-
<b>Developer Fee</b>	94,118.00	94,117.64	94,118.00	-
<b>Miscellaneous</b>	5,000.00	6,390.05	7,500.00	2,500.00
<b>TOTAL</b>	<b>304,524.00</b>	<b>281,963.00</b>	<b>303,324.00</b>	<b>(1,200.00)</b>

**Department of Game  
& Inland Fisheries**

**New Headquarters**

***CONCEPT BUDGET 1.7***

***June 20, 2012***



  
**Kjellstrom+Lee**  
c o n s t r u c t i o n





# ***COMMONWEALTH OF VIRGINIA DGIF New Headquarters***

**Conceptual Design Budget 1.7  
June 20, 2012**

## **Table of Contents**

- A. Summary of Conceptual Design Budget
- B. Basis of Conceptual Design Budget
- C. Detailed Conceptual Budget



**A.**

**Summary of Conceptual Design Budget**  
***(DGS Form 30-24 – Level 2 Detail)***

DGS-30-224

(Rev. 01/11)

**BUILDING COST SUMMARY****Project Code:****Institution/Agency:** Department of Game and Inland Fisheries**Project Title:** New Headquarters (Concept Budget 1.7)**Project Location:** Hanover County**Architect/Engineer:** Baskervill**Cost Consultant:** Kjellstrom+Lee**Date Estimate Prepared:** 6/20/2012**For questions regarding this estimate, contact:****Name:** Richard Britt**Phone:** 804-545-2242**E-mail:** rbritt@kjellstromandlee.com**Stage of Design**

- ☒ Conceptual/Preplanning  
☐ Schematic Design  
☐ Preliminary Design  
☐ Working Drawings  
☐ Other (describe)

**Type of Estimate**

- ☐ A/E's Estimate  
☒ Owner's Independent Estimate

**Prepared By**

- ☐ A/E  
☒ Cost Consultant

**Assumed Bid Date:** 9/1/2012**Escalation incl'd at:** 3 % per annum**Project Gross Area** (gross square feet):

New Construction Area 47,165

Renovated Area -

**TOTAL GROSS AREA** 47,165**LEVEL II COST SUMMARY**

Building Element	Cost	Key Quantity	Unit of Measurement	Cost Per Key Quantity Unit	Cost Per Gross Sq. Ft.
A10 Foundations	\$ 280,340	29,070	SF	Ground Floor Area \$ 9.64	\$ 5.94
A20 Basement Construction			SF	Basement Floor Area \$ -	\$ -
B10 Superstructure	\$ 493,867	47,165	SF	Gross Bldg. Area \$ 10.47	\$ 10.47
B20 Exterior Enclosure	\$ 955,802	28,871	SF	Wall Surface Area \$ 33.11	\$ 20.27
B30 Roofing	\$ 232,919	29,755	SF	Roof Surface Area \$ 7.83	\$ 4.94
C10 Interior Construction	\$ 731,589	47,165	SF	Gross Bldg. Area \$ 15.51	\$ 15.51
C20 Stairs	\$ 56,400	44	EA	Total No. of Risers \$ 1,281.82	\$ 1.20
C30 Interior Finishes	\$ 442,800	47,165	SF	Gross Bldg. Area \$ 9.39	\$ 9.39
D10 Conveying	\$ 58,110	2	EA	Total No. of Stops \$ 29,055.00	\$ 1.23
D20 Plumbing	\$ 201,400	55	EA	No. of Fixtures \$ 3,661.82	\$ 4.27
D30 HVAC	\$ 961,773	170	TONS	System Capacity \$ 5,657.49	\$ 20.39
D40 Fire Protection	\$ 99,008	47,165	SF	Protected Area \$ 2.10	\$ 2.10
D50 Electrical	\$ 604,037	47,165	SF	Gross Bldg. Area \$ 12.81	\$ 12.81
E10 Equipment	\$ 17,215	47,165	SF	Gross Bldg. Area \$ 0.36	\$ 0.36
E20 Furnishings	\$ 45,686	47,165	SF	Gross Bldg. Area \$ 0.97	\$ 0.97
F10 Special Construction	\$ 45,000	47,165	SF	Gross Bldg. Area \$ 0.95	\$ 0.95
F20 Selective Building Demolition			SF	Affected Area \$ -	\$ -
G10 Site Preparation	\$ 421,029	38,720	SY	Affected Area \$ 10.87	\$ 8.93
G20 Site Improvements	\$ 574,276	38,720	SY	Affected Area \$ 14.83	\$ 12.18
G30 Site Mechanical Utilities	\$ 324,924	3,710	LF	Length of Run \$ 87.58	\$ 6.89
G40 Site Electrical Utilities	\$ 84,000	3,000	LF	Length of Run \$ 28.00	\$ 1.78
G90 Other Site Construction			SY	Affected Area \$ -	\$ -
Z General Requirements and OH&P	\$ 1,053,239	( This value equates to 15.9% of total other costs listed above. )			\$ 22.33
<b>TOTAL CONSTRUCTION COST</b>	<b>\$ 7,683,414</b>				<b>\$ 162.90</b>

**LEVEL I COST SUMMARY**

Building Element	Cost	Cost *	As % of Building Cost *	Cost Per Gross Sq. Ft.	Cost Per Gross Sq. Ft. *
A Substructure	\$ 280,340	\$ 324,874	5.4%	\$ 5.94	\$ 6.89
B Shell	\$ 1,682,588	\$ 1,949,876	32.2%	\$ 35.67	\$ 41.34
C Interiors	\$ 1,230,789	\$ 1,426,306	23.6%	\$ 26.10	\$ 30.24
D Services	\$ 1,924,328	\$ 2,230,018	36.8%	\$ 40.80	\$ 47.28
E Equipment & Furnishings	\$ 62,901	\$ 72,893	1.2%	\$ 1.33	\$ 1.55
F Special Construction & Demolition	\$ 45,000	\$ 52,148	0.9%	\$ 0.95	\$ 1.11
<b>SUBTOTAL BUILDING COST</b>	<b>\$ 5,225,946</b>	<b>\$ 6,056,116</b>	<b>100.0%</b>	<b>\$ 110.80</b>	<b>\$ 128.40</b>
G Sitework & Utilities	\$ 1,404,229	\$ 1,627,298	26.9%	\$ 29.77	\$ 34.50
Z General Requirements and OH&P	\$ 1,053,239	incl'd above		\$ 22.33	incl'd above
<b>TOTAL CONSTRUCTION COST</b>	<b>\$ 7,683,414</b>	<b>\$ 7,683,414</b>		<b>\$ 162.90</b>	<b>\$ 162.90</b>

\* - Includes prorata share of General Requirements and OH&amp;P.

**REMARKS:**



**B.**

**Basis of Conceptual Design Budget**

**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

The Basis of this Conceptual Design Budget is a written narrative stating the assumptions and clarifications used in establishing the budgetary costs.

While it is Kjellstrom + Lee, Inc.'s intention to provide a complete estimate of cost for the project as conceived by the owner and architect, the narrative is provided in order for the project team to better understand the budget, and provide for additional/deductive costs if appropriate.

**CONTINGENCIES**

The following contingencies with corresponding definitions have been established for the budget.

- C.1 Construction Contingency: A construction contingency of 2% is included to cover costs not currently identified in the budget for weather days, schedule acceleration, unforeseen conditions, protective measures, coordination issues/scope between trades, and/or design omissions. Construction contingency does not account for program changes that result in additional costs.
- C.2 Estimate Contingency: An estimate contingency of 4% is included to cover costs not currently identified in the budget for misinterpretation of design intent, refined design details, updated product selections, market variances and/or estimate omissions. As design progresses and the intent of building systems/scope are better identified, K+L may recommend reducing the estimate contingency in association to the level of design information provided. It is expected that following design completion, the estimate contingency will either be absorbed into the project costs or allocated as appropriate.

**BUDGET CLARIFICATIONS and ASSUMPTIONS**

The basis of the detailed budget includes the following clarifications and assumptions:

- 1. The budget is based on a total site area of 8.0 acres and total building area of 47,165 gross square feet (gsf).
- 2. The budget was generated using the following materials provided by Baskervill and their consultants:
  - a) Outline Specifications for DGIF dated February 17, 2011
  - b) Architectural Basis of Design Narrative dated January 31, 2012
  - c) Structural Basis of Design Narrative (Exhibit A) dated January 31, 2012
  - d) MEP Design Narrative (Exhibit B) dated January 31, 2012
  - e) Schematic Civil Drawings dated February 18, 2011
  - f) Conceptual Architectural Drawings (Undated)
- 3. The following scope of work items have either been removed or represent changes to the overall project plan:
  - a) Deleted rock, hardpan, and unsuitable materials allowance of \$50,000 in its entirety.
  - b) Deleted the covered structure at the Car Wash.
  - c) Deleted the Toilet room from the Executive Director's Suite
  - d) Deleted all sun shade devices (*note: this may reduce LEED points*)

**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

- e) Changed design of exterior wall corner at G.1 to delete curtainwall and add tilt panels and punch windows to match typical wall configuration.
- f) Reduced gross square footage of building by shortening Bay F/G from 38' to a typical 30' bay.
- g) Removes curb and gutter at roadways and adds adjacent drainage ditches.
- h) In-filled two-story open area over Employee Break Room.
- i) Includes an allowance for the Pavilion structure.
- j) Includes an allowance for telephone / data boxes and cabling. Final terminations, equipment, and testing will be provided by the Owner.
- k) Includes the 2<sup>nd</sup> entrance canopy and vestibule at the Board Room.
- l) Includes the Exterior Balcony in its entirety.
- m) Includes the raised access floor, ramp, and handrail in Dispatch.
- n) Includes (3) projector screens of each size 10'x8' and 12'x8', respectively.

**GENERAL**

1. The following general items are **NOT INCLUDED** within the budget:
  - a. Testing and Special Inspections.
  - b. Municipality-charged utility connection fees.
  - c. Connection charges by corporate utility providers.
  - d. Furniture, fixtures, or movable equipment unless specifically addressed.
  - e. Any costs associated with the removal of hazardous materials of any sort above or below grade.
  - f. Architectural signage and graphics (Code required signage is included).
  - g. Permanent power consumption charges.
  - h. Enhanced Commissioning of MEP systems.
  - i. VDOT and/or Hanover County required bonds or Letters of Credit for Erosion Control or Site Entry Work.
  - j. VDOT and/or Hanover County required permits.
  - k. Un-foreseeable subsurface or concealed conditions not otherwise noted within the proposal.
  - l. Cost associated with the creation of a SWWP plan.
2. The following general items are **INCLUDED** within the budget:
  - a. Performance and Payment Bond.
  - b. Payroll Taxes and Insurance.
  - c. General Liability Insurance.
  - d. Builders Risk Insurance.
  - e. Temporary power consumption costs.
  - f. Temporary water consumption costs.
  - g. The building and site will be designed in accordance with LEED guidelines to achieve a silver rating under LEED 2.2.

**A – SUBSTRUCTURE**

**A10 FOUNDATIONS**

1. The exterior concrete tilt-up walls will rest shallow continuous footings and interior columns on shallow spread footings.

**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

**A20 BASEMENT CONSTRUCTION**

1. No clarifications.

**B – SHELL**

**B10 SUPERSTRUCTURE**

1. The typical slab on grade is 5" of normal weight concrete over 4" of compacted stone, and reinforced with welded wire mesh.
2. The elevated slab is 4 1/2" of normal weight concrete on 1 1/2" steel form deck and reinforced with welded wire mesh.
3. The interior building columns and beams will be coated with a spray fireproofing material.

**B20 EXTERIOR ENCLOSURE**

1. The concrete tilt-up walls will be un-insulated. The interior face of the wall will be furred out with metal studs, insulation and drywall.
2. A perimeter CMU foundation wall 2'-0" in height from top of footing is included to support the natural stone veneer.
3. The concrete tilt-up walls will have a natural stone veneer applied to the face of the concrete wall and is based on a \$38/SF cost.
4. A glass curtain wall system is provided at the main entrance and at two-story narrow windows.
5. An entrance canopy and vestibule is included at the Board Room in addition to the main building entrance.

**B30 ROOFING**

1. A standing seam metal system roof is provided at the entrance canopy.
2. A standing seam metal roof system is provided at the roof monitor.

**C - INTERIORS**

**C10 INTERIOR CONSTRUCTION**

1. Perimeter concrete tilt-up walls of the Office will be furred out with metal studs, insulation and drywall.
2. Typical interior partitions in the first and second floor office space will be 3-5/8" metal studs with 5/8" drywall each side.

**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

3. All interior columns will be wrapped with metal stud framing and drywall.
4. 8" CMU partitions are included for separate rooms in the Warehouse.
5. All interior door openings will consist of hollow metal frames, wood doors, and associated hardware.
6. Exterior openings consist of both hollow metal frames & doors and aluminum storefront doors and associated hardware.
7. The warehouse contains two (2) steel overhead roll-up doors.
8. Interior aluminum storefront is included at the Lobby and second level overlooking the lobby.
9. All restrooms will be provided with the toilet accessories necessary to meet ADA requirements.
10. Plastic (HDPE) toilet partitions are provided in the core Men's & Women's restrooms.

**C20 STAIRS**

1. The East lobby stair includes natural stone treads and risers and decorative railings.
2. The South stairwell will be a concrete filled metal pan stair with rubber treads and risers.

**C30 INTERIOR FINISHES**

1. No wood paneling is included in this budget. All lobby walls will be gypsum board with a painted finish.
2. The warehouse perimeter concrete tilt-up walls will be exposed and painted.
3. All restrooms will have ceramic floor tile, wall tile to an elevation of six feet above finished floor at plumbing "wet" walls, and ceramic base.
4. The Fitness Center will have a resilient athletic flooring and vinyl base.
5. Employee Lounges, Janitor Closets, Telephone / Data Closets, and File Rooms will have vinyl flooring and vinyl base.
6. The lobby floor is provided as natural stone with paint grade wood base.
7. Carpet is provided at all common areas, offices, and conference rooms and priced at \$32 per square yard. Vinyl base will be provided at all areas to receive carpet.
8. An epoxy floor and vinyl base is provided at the Maintenance Rooms, Critter Room, and Toilet located in the Warehouse.



**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

9. The Elevator Equipment room, Warehouse, Ammunition Storage, Building Electric, and Building Sprinkler rooms will have sealed concrete floors with vinyl base.
10. The lobby ceiling will be a combination drywall and ACT ceiling systems
11. The first and second floor office space will have an acoustical lay-in 2x2 grid system with Armstrong #704 Cortega ceiling tiles.
12. The second floor ceiling will include drywall bulkhead and soffit framing to the roof monitor above to allow natural light to enter the space.

**D – SERVICES**

**D10 CONVEYING**

1. No clarifications.

**D20 PLUMBING**

1. This budget does not include the cost of an air compressor and associated piping.
2. Water heaters, warehouse and office RTU's will be natural gas-fire equipment.

**D30 HVAC**

1. The office areas will be served by two (2) 85-ton packaged rooftop cooling units that supplies approximately (40) fan-powered VAV boxes with electric heat.
2. A heat recovery wheel is included to maximize system efficiency.
3. Dedicated split systems are provided to regulate temperature in the Server and Dispatch Rooms.
4. The Warehouse will be heated by natural gas-fired heaters. Occupiable enclosed spaces within the warehouse will utilize ductless split systems for air conditioning.
5. This budget does not include the 70% redundancy requirement for the HVAC equipment as outlined in the MEP Narrative.

**D40 FIRE PROTECTION**

1. Two (2) wet risers complete with quick response chrome recessed pendent sprinklers in areas with ceilings and brass upright heads in exposed warehouse.
2. Floor openings will be protected by water curtains.
3. A fire pump is not included in this budget.

**D50 ELECTRICAL**

1. Transformers and pads, manholes, vaults, primary and secondary cables are not included and are to be provided by the electrical utility company.

**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

2. The Dispatch lighting, power, and standalone split system unit is being provided on critical (generator) power. The associated generator and automatic transfer switch is to be provided by the Owner.
3. This budget provides for a lightening protection system.
4. This budget provides for a complete and operational fire alarm system.
5. The cost of a building security system and public address system is not included in this budget.
6. An allowance of \$60,000 is included for all telephone and data equipment, cabling, and testing. All raceways and boxes will be provided by the General Contractor.
7. Emergency and Egress lighting will be provided for by battery pack fixtures.

**E – EQUIPMENT & FURNISHINGS**

**E10 EQUIPMENT**

1. A total of six (6) projection screens are included within this budget. Three (3) projection screens at each of the following sizes: 10'x8" and 12'x8'.
2. The gym equipments is to be furnished by the Owner.
3. The dock equipment includes a leveler and bumper at one of the two warehouse dock doors.
4. Marker boards and tack boards are to be furnished by the Owner.

**E20 FURNISHINGS**

1. A recessed entry mat is included at the entry vestibule.
2. Base cabinets, wall cabinets, and countertops are included at Employee Lounge, and Employee Break areas. The Executive Conference Room includes a base cabinet and countertop only.
3. Work surfaces are included at the Lobby Reception/Retail windows and Dispatch Room.

**F– SPECIAL CONSTRUCTION & DEMOLITION**

**F10 SPECIAL CONSTRUCTION**

1. Any work associated with the radio tower and antenna is not included in this budget.
2. An allowance of \$45,000 is included for the cost of the pavilion structure.

**F20 SELECTIVE BUILDING DEMOLITION**

1. No clarifications.

**Commonwealth of Virginia – DGIF New Headquarters  
Concept Budget 1.7**

**BASIS OF CONCEPTUAL DESIGN BUDGET**

**G – SITE WORK & UTILITIES**

**G10 SITE PREPARATION**

1. It is assumed that all excavated materials will be suitable for fill without the necessity of chemical or mechanical drying methods.
2. Concrete paving will be provided at the area noted as "Covered Car Wash" on Site Layout plan C3.0.
3. An irrigation system is not included as it is not permitted by LEED.

**G20 SITE IMPROVEMENT**

1. All sidewalks will be typical gray concrete walks and will not include any decorative stamping, colors, or finishes.
2. Pylon signs at both entrances to the site are not included in this budget.
3. All landscaping work is excluded from this budget as it will be performed by others. Please note the landscaping will effect final site approval for a Certificate of Occupancy, but must be coordinated to not delay other trades.
4. Concrete curb and gutter will be replaced with an adjacent drainage ditch.
5. The cost for a dumpster enclosure is included at \$15,000.

**G30 SITE MECHANICAL UTILITIES**

1. The Car Wash area will include a sloped concrete pad, trench drain, oil / water separator, monitoring manhole, and associated piping to tie back into the storm water system.

**G40 SITE ELECTRICAL UTILITIES**

1. No clarifications.

**G90 OTHER SITE CONSTRUCTION**

1. No clarifications.



**C.**

**Detailed Conceptual Budget**

***(Level 3 Detail)***

**Virginia Department of Game & Inland Fisheries**  
**New Headquarters Building**  
**Concept Estimate 1.7 (06/20/2012)**

<b>Project name</b>	VDGIF Concept Budget 1.7 Hanover County
<b>Estimator</b>	Britt
<b>Job size</b>	47165 sf
<b>Duration</b>	10 mnth
<b>Bid date</b>	6/20/2012

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>A</b>							
	<b>A10</b>		<b>Substructure</b>				
			<b>Foundations</b>				
	<b>A1010</b>		<b>Standard Foundations</b>				
			<b>CONCRETE</b>				
			Footings & Pile Caps				
			Column & Wall Footings	336 cy	400.00	134,400	
			Elevator Pit	1 ea	5,000.00	5,000	
			Footings & Pile Caps			139,400	
			<b>Concrete Clean-up</b>				
			Daily Clean-up	6 wks	864.00	5,184	
			Dumpster, Dump Fee	6 EA	425.00	2,550	
			Concrete Clean-up			7,734	
			<b>CONCRETE</b>			147,134	
			<b>THERMAL &amp; MOISTURE PROT</b>				
			<b>Waterproof</b>				
			Waterproof Elevator Pit	1 ea	1,500.00	1,500	
			Drain Tile System	200 lf	15.00	3,000	
			Waterproof			4,500	
			<b>THERMAL &amp; MOISTURE PROT</b>			4,500	
			<b>A1010 Standard Foundations</b>	<b>336 cy</b>	<b>451.29</b>	<b>151,634</b>	
	<b>A1030</b>		<b>Slab on Grade</b>				
			<b>SITEWORK</b>				
			Termite Protection				
			Soil Treatment	20,636 sf	0.26	5,365	
			Termite Protection			5,365	
			<b>SITEWORK</b>			5,365	
			<b>CONCRETE</b>				
			<b>Slab on Grade</b>				
			Slab on Grade - 5"	29,070 sf	4.15	120,641	
			Slab on Grade			120,641	
			<b>Pits</b>				
			Dock Pit	1 ea	2,500.00	2,500	
			Pits			2,500	
			<b>CONCRETE</b>			123,141	
			<b>METALS</b>				
			<b>Miscellaneous Metals</b>				
			Dock Edge Angles	10 lf	20.00	200	
			Miscellaneous Metals			200	
			<b>METALS</b>			200	
			<b>A1030 Slab on Grade</b>	<b>29,070 sf</b>	<b>4.43</b>	<b>128,706</b>	
			<b>A10 Foundations</b>	<b>28,190 sf</b>	<b>9.95</b>	<b>280,340</b>	Ground Floor Area
			<b>A Substructure</b>	<b>47,165 sf</b>	<b>5.94</b>	<b>280,340</b>	Gross Square Feet

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>B</b>			<b>Shell</b>				
	<b>B10</b>		<b>Substructure</b>				
		<b>B1010</b>	<b>Floor Construction</b>				
			<b>CONCRETE</b>				
			Slab on Metal Deck				
			4" Slab on Deck	20,046 sf	3.25	65,150	
			Slab on Metal Deck			65,150	
			<b>Concrete Safety</b>				
			Guardrails	250 lf	7.35	1,838	
			Ladders	2 ea	1,035.00	2,070	
			Concrete Safety			3,908	
			<b>CONCRETE</b>			69,057	
			<b>METALS</b>				
			Structural Steel				
			Beams & Columns	130 tons	2,100.00	273,000	
			Light Monitor Framing	6 tons	2,100.00	12,600	
			Entrance Canopy & Overhang Framing	6 tons	3,000.00	18,000	
			Floor Deck	20,000 sf	2.60	52,000	
			Engineering & Layout	3 wks	2,000.00	6,000	
			Structural Steel			361,600	
			<b>METALS</b>			361,600	
			<b>THERMAL &amp; MOISTURE PROT</b>				
			Fireproofing				
			Beams and Columns	26,445 sf	0.95	25,123	
			Clean-up Fireproofing	2 wk	864.00	1,728	
			Fireproofing			26,851	
			<b>THERMAL &amp; MOISTURE PROT</b>			26,851	
			<b>MISCELLANEOUS CHANGES</b>				
			Changes to GMP				
			Building Area Decrease	-400 gsf	66.00	(26,400)	
			VE - Building Area Decrease Shortened Bay F/G by 8'	-1,760 gsf	66.00	(116,160)	VE
			VE - Infill Open Area over Break Room	209 sf	60.00	12,540	VE
			Changes to GMP			(130,020)	
			<b>MISCELLANEOUS CHANGES</b>			(130,020)	
			<b>B1010 Floor Construction</b>	<b>20,046 sf</b>	<b>16.34</b>	<b>327,488</b>	
	<b>B1020</b>		<b>Roof Construction</b>				
			<b>METALS</b>				
			Structural Steel				
			Joist	60 tons	1,500.00	90,000	
			Roof Deck	30,000 sf	1.90	57,000	
			Roof Deck at Light Monitor	2,800 sf	2.00	5,600	
			Structural Steel			152,600	
			<b>METALS</b>			152,600	
			<b>WOOD &amp; PLASTICS</b>				
			Exterior/Roof Blocking				
			Roof Blocking	3,114 lf	4.43	13,779	
			Exterior/Roof Blocking			13,779	
			<b>WOOD &amp; PLASTICS</b>			13,779	
			<b>B1020 Roof Construction</b>	<b>30,000 sf</b>	<b>5.55</b>	<b>166,379</b>	
			<b>B10 Substructure</b>	<b>47,165 sf</b>	<b>10.47</b>	<b>493,867</b>	Gross Building Area
<b>B20</b>			<b>Exterior Enclosure</b>				
	<b>B2010</b>		<b>Exterior Walls</b>				

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>CONCRETE</b>				
			Tilt-Up Concrete				
			Uninsulated Tilt Wall -	24,572 sf	13.75	337,865	
			Tilt-Up Concrete			337,865	
			<b>CONCRETE</b>			337,865	
			<b>MASONRY</b>				
			Stone				
			Stone Veneer on Tilt	246 sf	38.00	9,348	
			Stone			9,348	
			<b>MASONRY</b>			9,348	
			<b>THERMAL &amp; MOISTURE PROT</b>				
			Caulking & Sealants				
			Caulk Subcontractor	49,116 sf	0.50	24,558	
			Caulking & Sealants			24,558	
			<b>THERMAL &amp; MOISTURE PROT</b>			24,558	
			<b>DOORS &amp; WINDOWS</b>				
			Glass Curtain Wall				
			Sun Shade Device	213 lf	175.00	37,275	
			VE Delete Sun Shade Devices	-213 lf	175.00	(37,275) VE	
			<b>FINISHES</b>				
			Painting				
			Paint Tilt-walls	20,029 sf	1.75	35,051	
			Paint AEES	1 ls	2,500.00	2,500	2 Painters, 1 week, + Boom Lift
			Painting			37,551	
			<b>FINISHES</b>			37,551	
			<b>SPECIALTIES</b>				
			Louvers				
			Medium Wall Louvers	65 sf	26.55	1,726	
			Louvers			1,726	
			<b>SPECIALTIES</b>			1,726	
			<b>MISCELLANEOUS CHANGES</b>				
			Changes to GMP				
			Add Exterior Balcony	422 sf	127.38	53,754	
			Exterior Wall Changes	21,576 sf	4.15	89,633	
			VE Glass Changes at Right Rear Conner,	-600 sf	60.00	(36,000) VE	
			Delete CW, Add typ Punch Window				
			_Delete CW				
			VE Glass Changes at Right Rear Conner,	135 sf	41.00	5,535 VE	
			Delete CW, Add typ Punch Window _Add				
			Punch				
			2nd Entrance Vestibule & Canopy	1 ea	54,950.00	54,950	
			Changes to GMP			167,872	
			<b>MISCELLANEOUS CHANGES</b>			167,872	
			<b>B2010 Exterior Walls</b>	28,871 sf	20.05	578,920 sf of exterior wall	
<b>B2020</b>			<b>Exterior Windows</b>				
			<b>DOORS &amp; WINDOWS</b>				
			Entrances & Storefronts				
			Punched Windows	3,309 SF	41.00	135,669	
			Temporary Window Closures	3,309 sf	3.00	9,927	
			Clean Glass and Aluminum	6,470 sf	0.53	3,397	
			Entrances & Storefronts			148,993	
			<b>Glass Curtain Wall</b>				
			Glass Curtainwall System	3,161 sf	60.00	189,660	
			Glass Curtain Wall			189,660	



BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>DOORS &amp; WINDOWS</b>			<b>338,653</b>	
			<b>B2020 Exterior Windows</b>	<b>6,470 sf</b>	<b>52.34</b>	<b>338,653</b>	<b>area of all exterior glass and glazing systems</b>
			<b>B2030 Exterior Doors</b>				
			<b>DOORS &amp; WINDOWS</b>				
			<b>HM Doors &amp; Frames</b>				
			Insulated Door Leaves	6 ea	371.70	2,230	
			<b>HM Doors &amp; Frames</b>			<b>2,230</b>	
			<b>Doors - Overhead</b>				
			Overhead Door	2 ea	4,000.00	8,000	
			<b>Doors - Overhead</b>			<b>8,000</b>	
			<b>Entrances &amp; Storefronts</b>				
			Glass Storefront Doors	7 ea	4,000.00	28,000	
			<b>Entrances &amp; Storefronts</b>			<b>28,000</b>	
			<b>DOORS &amp; WINDOWS</b>			<b>38,230</b>	
			<b>B2030 Exterior Doors</b>	<b>624 sf</b>	<b>61.27</b>	<b>38,230</b>	<b>area (one side) of all exterior doors</b>
			<b>B20 Exterior Enclosure</b>	<b>28,871 sf</b>	<b>33.11</b>	<b>955,802</b>	<b>Wall Surface Area</b>
<b>B30</b>			<b>Roofing</b>				
	<b>B3010</b>		<b>Roof Coverings</b>				
			<b>THERMAL &amp; MOISTURE PROT</b>				
			<b>Roofing</b>				
			TPO Roof	26,445 sf	3.85	101,813	
			Metal Coping	981 lf	15.00	14,715	
			<b>Roofing</b>			<b>116,528</b>	
			<b>Metal Roofing &amp; Siding</b>				
			Standing Seam Metal	3,310 sf	10.00	33,100	
			<b>Metal Roofing &amp; Siding</b>			<b>33,100</b>	
			<b>Metal Wall Panels</b>				
			Mtl Panels at Roof Screen	2,720 sf	12.00	32,640	
			Subframing for roof screens	2,720 sf	4.50	12,240	
			<b>Metal Wall Panels</b>			<b>44,880</b>	
			<b>Composite Wall Panels</b>				
			Metal Panel Soffits	825 sf	35.00	28,875	
			Framing for Composite Wall Panels	825 sf	8.00	6,600	
			<b>Composite Wall Panels</b>			<b>35,475</b>	
			<b>Gutters &amp; Downspouts</b>				
			Gutters	84 lf	6.00	504	
			Downspouts	72 lf	6.00	432	
			<b>Gutters &amp; Downspouts</b>			<b>936</b>	
			<b>THERMAL &amp; MOISTURE PROT</b>			<b>230,919</b>	
			<b>B3010 Roof Coverings</b>	<b>29,755 sf</b>	<b>7.76</b>	<b>230,919</b>	<b>area of all roofing, soffits, &amp; horiz waterproofing</b>
	<b>B3020</b>		<b>Roof Openings</b>				
			<b>THERMAL &amp; MOISTURE PROT</b>				
			<b>Roof Accessories</b>				
			Roof Hatch - Large	1 ea	2,000.00	2,000	
			<b>Roof Accessories</b>			<b>2,000</b>	
			<b>THERMAL &amp; MOISTURE PROT</b>			<b>2,000</b>	
			<b>B3020 Roof Openings</b>	<b>64 sf</b>	<b>31.25</b>	<b>2,000</b>	<b>Area of skylights, hatches, etc</b>
			<b>B30 Roofing</b>	<b>29,755 sf</b>	<b>7.83</b>	<b>232,919</b>	<b>Roof Surface Area</b>

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
C			<b>B Shell</b>	<b>47,165 sf</b>	<b>35.68</b>	<b>1,682,589</b>	<b>Gross Square Feet</b>
			<b>Interiors</b>				
	<b>C10</b>		<b>Interior Construction</b>				
		<b>C1010</b>	<b>Partitions</b>				
			<b>MASONRY</b>				
			<b>Masonry</b>				
			8" Shaft Walls	1,960 sf	16 00	31,360	
			Int 8" CMU Partition	1,660 sf	16 00	26,560	
			<b>Masonry</b>			<b>57,920</b>	
			<b>MASONRY</b>			<b>57,920</b>	
			<b>METALS</b>				
			<b>Miscellaneous Metals</b>				
			Folding Partition Supports	100 lf	125 00	12,500	
			<b>Miscellaneous Metals</b>			<b>12,500</b>	
			<b>METALS</b>			<b>12,500</b>	
			<b>DOORS &amp; WINDOWS</b>				
			<b>Entrances &amp; Storefronts</b>				
			Storefront	450 SF	32 00	14,400	
			<b>Entrances &amp; Storefronts</b>			<b>14,400</b>	
			<b>DOORS &amp; WINDOWS</b>			<b>14,400</b>	
			<b>FINISHES</b>				
			<b>Gypsum Drywall</b>				
			Int. Part 3 5/8" stud w/ 5/8" Gyp ES	4,676 sf	4 00	18,704	
			Interior Partition - Sound	24,260 sf	4 75	115,235	
			Typical Interior Partition	20,832 sf	4 00	83,328	
			3/4" Hat Channel w/ 5/8" Gyp	910 sf	2 25	2,048	
			Drywall Ctg @ Lobby	1,415 sf	10 00	14,150	
			Toilet Chase Walls	1,470 sf	3 00	4,410	
			Furred & insulated Exterior Wall	14,336 sf	4 00	57,344	
			Sound Insulation	3,850 sf	0 75	2,888	
			Shaft Wall	885 sf	7 50	6,638	
			<b>Gypsum Drywall</b>			<b>304,744</b>	
			<b>Clean-up &amp; Coord.</b>				
			Interim Clean-up	30 wks	795 00	23,850	
			<b>Clean-up &amp; Coord.</b>			<b>23,850</b>	
			<b>FINISHES</b>			<b>328,594</b>	
			<b>SPECIALTIES</b>				
			<b>Operable Partitions</b>				
			Folding Partition	900 sf	45 00	40,500	
			<b>Operable Partitions</b>			<b>40,500</b>	
			<b>SPECIALTIES</b>			<b>40,500</b>	
			<b>MISCELLANEOUS CHANGES</b>				
			<b>Changes to GMP</b>				
			Tenant Upfit Area Increase	1,506 sf	44 45	66,942	
			<b>Changes to GMP</b>			<b>66,942</b>	
			<b>MISCELLANEOUS CHANGES</b>			<b>66,942</b>	
			<b>C1010 Partitions</b>	<b>67,369 sf</b>	<b>7.73</b>	<b>520,855</b>	<b>Area of one face of all interior partitions, and bulkheads.</b>
	<b>C1020</b>		<b>Interior Doors</b>				
			<b>DOORS &amp; WINDOWS</b>				
			<b>HM Doors &amp; Frames</b>				
			Metal Doors	3 ea	266 70	800	
			Single Frames	9 ea	256 20	2,306	
			Single Frames	110 ea	256 20	28,182	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>HM Doors &amp; Frames</b>				
			Metal Sidelight Frame Only	20 ea	319.20	6,384	
			<b>HM Doors &amp; Frames</b>			37,672	
			<b>Wood Doors</b>				
			Wood Doors	3 ea	450.45	1,351	
			Wood Doors	107 ea	450.45	48,198	
			<b>Wood Doors</b>			49,550	
			<b>HardWr - Finishing</b>				
			Finish Hardware Set	9 ea	505.05	4,545	
			Finish Hardware Set	110 ea	400.05	44,006	
			<b>HardWr - Finishing</b>			48,551	
			<b>Glass and Glazing</b>				
			Glaze Hollow Metal Frames	240 sf	15.00	3,600	
			<b>Glass and Glazing</b>			3,600	
			<b>DOORS &amp; WINDOWS</b>			139,372	
			<b>FINISHES</b>				
			<b>Painting</b>				
			Paint HM Door Frame	9 ea	50.00	450	
			Paint HM Door Frame	110 ea	50.00	5,500	
			Paint HM Door Leaf	6 ea	50.00	300	
			Paint HM Door Leaf	3 ea	50.00	150	
			<b>Painting</b>			6,400	
			<b>FINISHES</b>			6,400	
			<b>C1020 Interior Doors</b>	2,712 sf	53.75	145,772	sf of one face of all doors
C1030			<b>Fittings</b>				
			<b>METALS</b>				
			<b>Miscellaneous Metals</b>				
			Toilet Partition Support	60 lf	90.00	5,400	
			<b>Miscellaneous Metals</b>			5,400	
			<b>Ornamental Metals</b>				
			Railing at Balcony	38 lf	300.00	11,400	
			Railing at Lobby Stair	22 lf	400.00	8,800	
			<b>Ornamental Metals</b>			20,200	
			<b>METALS</b>			25,600	
			<b>WOOD &amp; PLASTICS</b>				
			<b>Blocking</b>				
			Misc Blocking	1,600 lf	5.10	8,160	
			Telephone Board	8 ea	86.25	690	
			<b>Blocking</b>			8,850	
			<b>WOOD &amp; PLASTICS</b>			8,850	
			<b>DOORS &amp; WINDOWS</b>				
			<b>Glass and Glazing</b>				
			Mirrors	180 sf	15.00	2,700	
			<b>Glass and Glazing</b>			2,700	
			<b>DOORS &amp; WINDOWS</b>			2,700	
			<b>SPECIALTIES</b>				
			<b>Shower &amp; Dressing Compartment</b>				
			Shower Compartment	2 ea	2,000.00	4,000	
			<b>Shower &amp; Dressing Compartment</b>			4,000	
			<b>Toilet Partition</b>				
			Toilet Partit Plastic	14 ea	922.50	12,915	
			Urinal Screen Plastic	2 ea	408.00	816	
			<b>Toilet Partition</b>			13,731	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>Interior Signage</b>				
			ADA Signage	1 ea	1,000.00	1,000	
			Signage Package - NIC	1 ls	0.01	0 FF&E	
			<b>Interior Signage</b>			<b>1,000</b>	
			<b>Toilet Accessories</b>				
			Grab Bars - 36"	4 ea	141.45	566	
			Grab Bars - 36"	4 ea	141.45	566	
			Grab Bars - 42"	4 ea	151.95	608	
			Shower Grab Bar	2 ea	141.45	283	
			Toilet Paper Dispenser - Single	14 ea	62.25	872	
			Toilet Paper Dispenser - Single	4 ea	62.25	249	
			Soap Dispenser- Wall	4 ea	46.50	186	
			Soap Dispenser - Counter	12 ea	51.75	621	
			Towel Dispenser/Waste Receptical	8 ea	193.95	1,552	
			Sanitary Napkin Dispenser	2 ea	263.25	527	
			Sanitary Napkin Disposal	9 ea	72.75	655	
			Sanitary Napkin Disposal	2 ea	72.75	146	
			Toilet Seat Cover Dispenser	14 ea	67.50	945	
			Coat Hook	14 ea	19.95	279	
			Coat Hook	4 ea	19.95	80	
			Framed Mirrors	4 ea	193.95	776	
			Shower Curtain Rod	2 ea	41.25	83	
			Mop Strip	2 ea	45.00	90	
			<b>Toilet Accessories</b>			<b>9,081</b>	
			<b>SPECIALTIES</b>			<b>27,812</b>	
			<b>C1030 Fittings</b>	<b>48,710 sf</b>	<b>1.33</b>	<b>64,962 gross building area</b>	
			<b>C10 Interior Construction</b>	<b>47,165 sf</b>	<b>15.51</b>	<b>731,589 Gross Building Area</b>	
C20			<b>Stairs</b>				
	C2010		<b>Stair Construction</b>				
			<b>CONCRETE</b>				
			<b>Metal Pan Stairs</b>				
			Concrete Pan Fill	515 sf	10.00	5,150	
			<b>Metal Pan Stairs</b>			<b>5,150</b>	
			<b>CONCRETE</b>			<b>5,150</b>	
			<b>METALS</b>				
			<b>Miscellaneous Metals</b>				
			Roof Access Ladder	1 ea	800.00	800	
			Steel Pan Stairs #1	22 rise	600.00	13,200	
			Steel Pan Stairs #2 - Lobby	22 rise	1,200.00	26,400	
			Stamp Stair Design	1 ls	3,150.00	3,150	
			Wall Rails at Stairs	58 lf	50.00	2,900	
			<b>Miscellaneous Metals</b>			<b>46,450</b>	
			<b>METALS</b>			<b>46,450</b>	
			<b>C2010 Stair Construction</b>	<b>44 rise</b>	<b>1,172.73</b>	<b>51,600</b>	
	C2020		<b>Stair Finishes</b>				
			<b>FINISHES</b>				
			<b>Resilient Treatment</b>				
			Rubber Stair Treads	110 lf	20.00	2,200	
			<b>Resilient Treatment</b>			<b>2,200</b>	
			<b>Painting</b>				
			Paint Stairs and Railings	4 flgh	650.00	2,600	
			<b>Painting</b>			<b>2,600</b>	
			<b>FINISHES</b>			<b>4,800</b>	
			<b>C2020 Stair Finishes</b>	<b>44 rise</b>	<b>109.09</b>	<b>4,800</b>	
			<b>C20 Stairs</b>	<b>44 ea</b>	<b>1,281.82</b>	<b>56,400 Number of Risers</b>	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>C30 Interior Finishes</b>							
<b>C3010 Wall Finishes</b>							
<b>WOOD &amp; PLASTICS</b>							
<b>Millwork &amp; Cabinets</b>							
			Wood Paneling	0 sf	47.00	0	None Included
			Millwork & Cabinets			0	
<b>WOOD &amp; PLASTICS</b>							
						0	
<b>FINISHES</b>							
<b>Tile</b>							
			Wall Tile - Thin Set	1,290 sf	12.00	15,480	
			Wall Tile - Thin Set	940 sf	12.00	11,280	
			<b>Tile</b>			<b>26,760</b>	
<b>Painting</b>							
			Prime Coat at Wall Covering	410 sf	0.26	107	
			Paint GWB	64,341 sf	0.42	27,023	
			Paint Concrete Walls	8,970 sf	0.75	6,728	
			<b>Painting</b>			<b>33,857</b>	
<b>Wall Covering</b>							
			Vinyl Wall Cover Light Wt	1,530 sf	1.50	2,295	
			Vinyl Wall Cover Light Wt	1,910 sf	1.50	2,865	
			<b>Wall Covering</b>			<b>5,160</b>	
<b>FINISHES</b>							
						<b>65,777</b>	
			<b>C3010 Wall Finishes</b>	<b>80,819 sf</b>	<b>0.81</b>	<b>65,778</b>	<b>area of all wall finishes</b>
<b>C3020 Floor Finishes</b>							
<b>FINISHES</b>							
<b>Tile</b>							
			Floor Tile - Thin Set	844 sf	12.00	10,128	
			Floor Tile - Thin Set	249 sf	12.00	2,988	
			Ceramic Base	282 lf	12.00	3,384	
			Ceramic Base	135 lf	12.00	1,620	
			Protect Tile Floors	844 sf	0.53	443	
			Protect Tile Floors	249 sf	0.53	131	
			<b>Tile</b>			<b>18,694</b>	
<b>Stone Flooring</b>							
			Sim Stone Floor at Lobby	1,572 sf	16.00	25,152	
			<b>Stone Flooring</b>			<b>25,152</b>	
<b>Resilient Athletic Floors</b>							
			Resilient Athletic Flooring	900 sf	6.50	5,850	
			<b>Resilient Athletic Floors</b>			<b>5,850</b>	
<b>Resilient Treatment</b>							
			Rubber Base	7,419 lf	1.75	12,983	
			Linoleum Floors	1,500 sf	5.50	8,250	
			<b>Resilient Treatment</b>			<b>21,233</b>	
<b>Carpet</b>							
			Carpet	3,587 sy	35.00	125,545	
			<b>Carpet</b>			<b>125,545</b>	
<b>Resinous Flooring</b>							
			Quartz Epoxy Flooring	119 sf	7.50	893	
			<b>Resinous Flooring</b>			<b>893</b>	
<b>Painting</b>							
			Sealed Concrete Floors	324 sf	0.60	194	
			Sealed Concrete Floors	6,986 sf	0.60	4,192	
			<b>Painting</b>			<b>4,386</b>	
<b>Clean-up &amp; Coord.</b>							
			Final Clean-up	49,110 sf	0.05	2,456	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>Clean-up &amp; Coord.</b>				
			Final Clean-up	49,110 sf	0.30	14,733	
			Clean-up & Coord.			17,189	
			<b>FINISHES</b>			218,941	
			<b>SPECIALTIES</b>				
			<b>Access &amp; Pedestal Floors</b>				
			Access Floor	949 sf	24.00	22,776	Dispatch
			Access Floor Ramp	36 sf	28.00	1,008	Dispatch
			Access Floor Handrail	20 lf	60.00	1,200	Dispatch
			Access & Pedestal Floors			24,984	
			<b>SPECIALTIES</b>			24,984	
			<b>C3020 Floor Finishes</b>	<b>44,777 sf</b>	<b>5.45</b>	<b>243,925</b>	<b>area of all floor finishes</b>
<b>C3030</b>			<b>Ceiling Finishes</b>				
			<b>FINISHES</b>				
			<b>Acoustical Treatment</b>				
			2 X 2 Acoustical Ceiling	872 sf	3.25	2,834	
			2 X 2 Acoustical Ceiling	36,800 sf	3.25	119,600	
			Acoustical Treatment			122,434	
			<b>Painting</b>				
			Misc. Metal Items	1 ls	2,500.00	2,500	
			Paint Structural Steel Spray	7,421 sf	1.10	8,163	
			Painting			10,663	
			<b>FINISHES</b>			133,097	
			<b>C3030 Ceiling Finishes</b>	<b>45,093 sf</b>	<b>2.95</b>	<b>133,097</b>	<b>area of all ceiling finishes</b>
			<b>C30 Interior Finishes</b>	<b>47,165 sf</b>	<b>9.39</b>	<b>442,800</b>	<b>Gross Building Area</b>
			<b>C Interiors</b>	<b>47,165 sf</b>	<b>26.10</b>	<b>1,230,789</b>	<b>Gross Square Feet</b>

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
D			<b>Services</b>				
	D10		<b>Conveying</b>				
		D1010	<b>Elevators and Lifts</b>				
			<b>METALS</b>				
			Miscellaneous Metals				
			Elevator Pit Ladder	1 ea	750.00	750	
			Elevator Sill Angle	2 ea	200.00	400	
			Miscellaneous Metals			1,150	
			<b>METALS</b>			1,150	
			<b>CONVEYING SYSTEMS</b>				
			<b>Elevators</b>				
			Hydraulic Passenger - 2 Stop	1 ea	56,000.00	56,000	
			Protect Cabs and Entrances	2 ea	480.00	960	
			<b>Elevators</b>			56,960	
			<b>CONVEYING SYSTEMS</b>			56,960	
			<b>D1010 Elevators and Lifts</b>	<b>2 stop</b>	<b>29,055.00</b>	<b>58,110</b>	<b>number of elevator hoistway openings</b>
			<b>D10 Conveying</b>	<b>2 ea</b>	<b>29,055.00</b>	<b>58,110</b>	<b>Number of Stops</b>
	D20		<b>Plumbing</b>				
		D2010	<b>Plumbing Fixtures</b>				
			<b>MECHANICAL</b>				
			<b>Plumbing</b>				
			Water Closets	14 ea	2,000.00	28,000	
			Water Closets	4 ea	2,000.00	8,000	
			Urinal	4 ea	2,500.00	10,000	
			Lavatory Sink	12 ea	2,500.00	30,000	
			Lavatory Sink	4 ea	2,500.00	10,000	
			Counter Sink	5 ea	2,000.00	10,000	
			Electric Water Cooler	4 ea	2,000.00	8,000	
			Mop Receptor	2 ea	1,600.00	3,200	
			Shower Compartment	2 ea	2,000.00	4,000	
			<b>Plumbing</b>			111,200	
			<b>MECHANICAL</b>			111,200	
			<b>D2010 Plumbing Fixtures</b>	<b>55 ea</b>	<b>2,021.82</b>	<b>111,200</b>	
		D2020	<b>Domestic Water Distribution</b>				
			<b>MECHANICAL</b>				
			<b>Plumbing</b>				
			Wall Hydrant	4 ea	1,000.00	4,000	
			Wall Hydrant	2 ea	1,000.00	2,000	
			Water Heater	1 ea	4,200.00	4,200	
			Piping For Fixtures	10 ea	1,000.00	10,000	
			Piping For Fixtures	45 ea	1,000.00	45,000	
			<b>Plumbing</b>			65,200	
			<b>MECHANICAL</b>			65,200	
			<b>D2020 Domestic Water Distribution</b>	<b>48,710 sf</b>	<b>1.34</b>	<b>65,200</b>	<b>gross building area</b>
		D2030	<b>Sanitary Waste</b>				
			<b>MECHANICAL</b>				
			<b>Plumbing</b>				
			Floor Drains	2 ea	1,500.00	3,000	
			<b>Plumbing</b>			3,000	
			<b>MECHANICAL</b>			3,000	
			<b>D2030 Sanitary Waste</b>	<b>2,750 lf</b>	<b>1.09</b>	<b>3,000</b>	<b>lineal footage of all waste and vent piping</b>
		D2040	<b>Rain Water Drainage</b>				

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>MECHANICAL</b>				
			<b>Plumbing</b>				
			Roof Drains	12 ea	1,500.00	18,000	
			<b>Plumbing</b>			18,000	
			<b>MECHANICAL</b>			18,000	
			<b>D2040 Rain Water Drainage</b>	<b>29,755 sf</b>	<b>0.61</b>	<b>18,000</b>	<b>Area of roof drainage</b>
<b>D2090</b>			<b>Other Plumbing Systems</b>				
			<b>MECHANICAL</b>				
			<b>Plumbing</b>				
			Air Compressor	1 ea	0.01	0	FF&E
			Air Piping	1 ea	0.01	0	FF&E
			Gas Piping	1 ls	10,000.00	10,000	
			VE- Delete Directors office toilet	-2 fixt	3,000.00	(6,000)	VE
			<b>Plumbing</b>			4,000	
			<b>MECHANICAL</b>			4,000	
			<b>D2090 Other Plumbing Systems</b>	<b>48,710 sf</b>	<b>0.08</b>	<b>4,000</b>	<b>gross building area</b>
			<b>D20 Plumbing</b>	<b>55 ea</b>	<b>3,661.82</b>	<b>201,400</b>	<b>Number of Fixtures</b>
<b>D30</b>			<b>HVAC</b>				
	<b>D3040</b>		<b>Distribution Systems</b>				
			<b>MECHANICAL</b>				
			<b>HVAC Systems</b>				
			VAV Boxes	40 ea	0.00	0	w/ HVAC
			Low Pressure Supply Duct	49,116 lf		0	w/ HVAC
			Duct To VAV	49,116 sf		0	w/ HVAC
			Return Duct	49,116 sf		0	w/ HVAC
			Ceiling Diffuser	49,116 ea		0	w/ HVAC
			Fire Dampers	49,116 ea		0	w/ HVAC
			Toilet Exhaust	4 ea	0.00	0	w/ HVAC
			Exhaust Fan	4 ea	0.00	0	w/ HVAC
			Ductless Split System Units	1 ls	0.01	0	w/ HVAC
			<b>HVAC Systems</b>			0	
			<b>MECHANICAL</b>			0	
			<b>D3040 Distribution Systems</b>	<b>48,710 sf</b>		<b>0</b>	<b>gross buling area</b>
<b>D3050</b>			<b>Terminal &amp; Package Units</b>				
			<b>MECHANICAL</b>				
			<b>HVAC Systems</b>				
			HVAC Systems	49,116 sf	8.75	429,765	
			Construction Filters	1 ls	1,050.00	1,050	
			Multi-zone Roof Top Unit	170 tons	3,000.00	510,000	
			Recessed Cabinet Heater	1 ea	0.01	0	w/ HVAC
			Gas Radiant Heat at Warehouse	6,986 sf	3.00	20,958	
			<b>HVAC Systems</b>			961,773	
			<b>MECHANICAL</b>			961,773	
			<b>D3050 Terminal &amp; Package Units</b>	<b>130 ton</b>	<b>7,398.25</b>	<b>961,773</b>	
<b>D3070</b>			<b>System Test and Balance</b>				
			<b>MECHANICAL</b>				
			<b>HVAC Systems</b>				
			Testing & Balancing	49,115 sf		0	W/ HVAC
			Controls	49,116 sf		0	W/ HVAC
			<b>HVAC Systems</b>			0	
			<b>MECHANICAL</b>			0	
			<b>D3070 System Test and Balance</b>	<b>48,710 sf</b>		<b>0</b>	<b>gross buling area</b>
<b>D30 HVAC</b>				<b>130 tons</b>	<b>7,398.26</b>	<b>961,773</b>	<b>System Capacity</b>



BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>D40</b>							
<b>Fire Protection</b>							
<b>D4010 Fire Sprinklers</b>							
<b>MECHANICAL</b>							
<b>Sprinkler</b>							
Heads				49,116 sf	1.75	85,953	
Fire Pump - NIC				1 ls	0.01	0	Assumed not needed
<b>Sprinkler</b>						85,953	
<b>MECHANICAL</b>						85,953	
<b>D4010 Fire Sprinklers</b>				<b>48,710 sf</b>	<b>1.77</b>	<b>85,953</b>	<b>square feet of protected area</b>
<b>D4020 Standpipe</b>							
<b>MECHANICAL</b>							
<b>Sprinkler</b>							
Underground Service				1 ls	5,000.00	5,000	
Sprinkler Riser				1 ea	5,000.00	5,000	
<b>Sprinkler</b>						10,000	
<b>MECHANICAL</b>						10,000	
<b>D4020 Standpipe</b>				<b>15 lf</b>	<b>666.67</b>	<b>10,000</b>	
<b>D4030 Fire Protection Specialties</b>							
<b>SPECIALTIES</b>							
<b>Fire Extinguishers</b>							
Fire Ext				9 ea	52.80	475	
Fire Extinguisher Brackets				2 ea	34.65	69	
Fire Ext Cab Steel				7 ea	172.95	1,211	
<b>Fire Extinguishers</b>						1,755	
<b>SPECIALTIES</b>						1,755	
<b>MECHANICAL</b>							
<b>Sprinkler</b>							
Hose Cabinets				2 ea	650.00	1,300	
<b>Sprinkler</b>						1,300	
<b>MECHANICAL</b>						1,300	
<b>D4030 Fire Protection Specialties</b>				<b>48,710 sf</b>	<b>0.06</b>	<b>3,055</b>	<b>gross building area</b>
<b>D40 Fire Protection</b>				<b>47,165 sf</b>	<b>2.10</b>	<b>99,008</b>	<b>Protected Area</b>
<b>D50</b>							
<b>Electrical</b>							
<b>D5010 Electrical Service &amp; Distribution</b>							
<b>ELECTRICAL</b>							
<b>Electrical Complete</b>							
Electrical System - Office				42,130 sf	12.00	505,560	
Electrical System - Warehouse				6,986 sf	3.75	26,198	
Va Power Connection Fee				1 lsum	0.01	0	By Owner
Temporary Electrical				49,116 sf	0.25	12,279	
<b>Electrical Complete</b>						544,037	
<b>Power</b>							
Equipment Hook-up				49,116 sf		0	w/ Electrical
<b>Power</b>						0	
<b>ELECTRICAL</b>						544,037	
<b>D5010 Electrical Service &amp; Distribution</b>				<b>1,000 amp</b>	<b>544.04</b>	<b>544,037</b>	<b>main service load</b>
<b>D5020 Lighting and Branch Wiring</b>							
<b>ELECTRICAL</b>							
<b>Power</b>							
Conduit and Wiring				49,116 sf		0	w/ Electrical

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>Power</b>				
			Duplex Receptacles	49,116 sf		0 w/ Electrical	
			Duplex Receptacles	42,130 ea		0 w/ Electrical	
			Light Switches	49,116 sf		0 w/ Electrical	
			Light Switches	42,130 ea		0 w/ Electrical	
			<b>Power</b>			0	
			<b>Lighting</b>				
			Lighting Package	49,116 sf		0 w/ Electrical	
			<b>Lighting</b>			0	
			<b>ELECTRICAL</b>			0	
			<b>D5020 Lighting and Branch Wiring</b>	<b>48,710 sf</b>		<b>0 gross building area</b>	
			<b>D5030 Communication and Security</b>				
			<b>ELECTRICAL</b>				
			<b>Special Systems</b>				
			Public Address System	49,116 sf		0 Owner	
			Fire Alarm System	49,116 sf		0 w/ Electrical	
			Security System	49,116 sf		0 Owner	
			Phone Box & Empty Conduit	49,116 ea		0 w/ Electrical	
			Tele Data Wiring & Boxes	1 alw	60,000.00	60,000	Owner Allowance
			<b>Special Systems</b>			<b>60,000</b>	
			<b>ELECTRICAL</b>			<b>60,000</b>	
			<b>D5030 Communication and Security</b>	<b>48,710 sf</b>	<b>1.23</b>	<b>60,000 gross building area</b>	
			<b>D5090 Other Electrical Systems</b>				
			<b>ELECTRICAL</b>				
			<b>Power</b>				
			Generators - 150kw	1 ea	0.01	0 By Owner	
			Emg Power Panels	2 ea	0.01	0 w/ Electrical	
			<b>Power</b>			0	
			<b>Special Systems</b>				
			Lightning Protection Systems	1 ea	0.01	0 w/ Electrical	
			<b>Special Systems</b>			0	
			<b>ELECTRICAL</b>			0	
			<b>D5090 Other Electrical Systems</b>	<b>48,710 sf</b>		<b>0 gross building area</b>	
			<b>D50 Electrical</b>	<b>47,165 sf</b>	<b>12.81</b>	<b>604,037 Gross Building Area</b>	
			<b>D Services</b>	<b>47,165 sf</b>	<b>40.80</b>	<b>1,924,328 Gross Square Feet</b>	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>E</b>			<b>Equipment &amp; Furnishings</b>				
	<b>E10</b>		<b>Equipment</b>				
		<b>E1020</b>	<b>Institutional Equipment</b>				
			<b>EQUIPMENT</b>				
			Projection Screens				
			Projection Screens - 10x8	3 ea	1,875.75	5,627	
			Projection Screens - 12x8	3 ea	2,101.50	6,305	
			Projection Screens			11,932	
			<b>Athletic Equipment</b>				
			Gym Equipment	1 ea	0.01	0	BY others
			Athletic Equipment			0	
			<b>EQUIPMENT</b>			11,932	
			<b>E1020 Institutional Equipment</b>	<b>48,710 sf</b>	<b>0.25</b>	<b>11,932 gross building area</b>	
		<b>E1030</b>	<b>Vehicular Equipment</b>				
			<b>EQUIPMENT</b>				
			Dock Equipment				
			Dock Leveler	1 ea	5,000.00	5,000	
			Dock Bumpers	2 ea	141.45	283	
			Dock Equipment			5,283	
			<b>EQUIPMENT</b>			5,283	
			<b>E1030 Vehicular Equipment</b>	<b>48,710 sf</b>	<b>0.11</b>	<b>5,283 gross building area</b>	
		<b>E1090</b>	<b>Other Equipment</b>				
			<b>SPECIALTIES</b>				
			Chalk & Tack Boards				
			Marker Boards	0 sf	8.00	0	By Others
			Tackboards	0 sf	6.00	0	By Others
			Chalk & Tack Boards			0	
			<b>SPECIALTIES</b>			0	
			<b>EQUIPMENT</b>				
			Residential Equipment				
			Residential Equipment	1 ls	0.01	0	By Owner
			Residential Equipment			0	
			<b>EQUIPMENT</b>			0	
			<b>E1090 Other Equipment</b>	<b>48,710 sf</b>		<b>0 gross building area</b>	
			<b>E10 Equipment</b>	<b>47,165 sf</b>	<b>0.37</b>	<b>17,215 Gross Building Area</b>	
	<b>E20</b>		<b>Furnishings</b>				
		<b>E2010</b>	<b>Fixed Furnishings</b>				
			<b>METALS</b>				
			Miscellaneous Metals				
			Vanity Supports	4 ea	157.50	630	
			Miscellaneous Metals			630	
			<b>METALS</b>			630	
			<b>WOOD &amp; PLASTICS</b>				
			Millwork & Cabinets				
			Base Cabinet	59 lf	217.50	12,833	
			Wall Cabinets	59 lf	184.50	10,886	
			Service/Info Counter	30 lf	132.00	3,960	
			Counter Tops	59 lf	79.50	4,691	
			Closet Rod & Shelf	50 lf	19.80	990	
			Bathroom Vanity	36 lf	237.00	8,532	
			Millwork & Cabinets			41,891	
			<b>WOOD &amp; PLASTICS</b>			41,891	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>FURNISHINGS</b>				
			Window Treatments				
			Horizontal Blinds Sub	4,890 sf		0	By Owner
			Window Treatments			0	
			<b>Entry Mats</b>				
			Entry Mats	100 sf	31.65	3,165	
			Entry Mats			3,165	
			<b>FURNISHINGS</b>			3,165	
			<b>SPECIAL CONSTRUCTION</b>				
			Misc Special Construction				
			Display Areas	1 allow	0.01	0	By Owner
			Misc Special Construction			0	
			<b>SPECIAL CONSTRUCTION</b>			0	
			<b>E2010 Fixed Furnishings</b>	<b>48,710 sf</b>	<b>0.94</b>	<b>45,686</b>	<b>gross building area</b>
			<b>E20 Furnishings</b>	<b>47,165 sf</b>	<b>0.97</b>	<b>45,686</b>	<b>Gross Building Area</b>
			<b>E Equipment &amp; Furnishings</b>	<b>47,165 sf</b>	<b>1.33</b>	<b>62,900</b>	<b>Gross Square Feet</b>

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>F</b>			<b>Special Const &amp; Demo</b>				
	<b>F10</b>		<b>Special Construction</b>				
		<b>F1010</b>	<b>Special Structures</b>				
			<b>SPECIAL CONSTRUCTION</b>				
			Pre-Engineered Buildings				
			Covered Car Wash	800 sf		0	VE Deleted Structure
			Pre-Engineered Buildings			0	
			<b>Special Structures</b>				
			Radio Tower and Support Bldg	1 ea	0.01	0	By Owner
			Pavillion	1,200 sf	37.50	45,000	Allowance
			<b>Special Structures</b>			45,000	
			<b>SPECIAL CONSTRUCTION</b>			45,000	
			<b>F1010 Special Structures</b>	<b>2,000 sf</b>	<b>22.50</b>	<b>45,000</b>	<b>area of special structure</b>
			<b>F10 Special Construction</b>	<b>47,165 sf</b>	<b>0.95</b>	<b>45,000</b>	<b>Gross Building Area</b>
			<b>F Special Const &amp; Demo</b>	<b>47,165 sf</b>	<b>0.95</b>	<b>45,000</b>	<b>Gross Square Feet</b>

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
<b>G</b>			<b>Sitework &amp; Utilities</b>				
	<b>G10</b>		<b>Site Preparation</b>				
		<b>G1010</b>	<b>Site Clearing</b>				
			<b>SITEWORK</b>				
			Excavation				
			Clear & Grub - Medium	8 acre	4,000.00	32,000	
			Excavation			32,000	
			<b>SITEWORK</b>			32,000	
			<b>G1010 Site Clearing</b>	<b>38,720 sy</b>	<b>0.83</b>	<b>32,000</b>	
		<b>G1030</b>	<b>Site Earthwork</b>				
			<b>SITEWORK</b>				
			Dewatering				
			Surface Runoff	ls		0	Subsurface Sources NIC
			Dewatering			0	
			<b>Excavation</b>				
			Mobilization	1 ea	10,000.00	10,000	
			Remove Topsoil	6,599 cy	6.00	39,594	
			Bulk Cut	25,400 cy	4.00	101,600	Assume design to balance
			Bulk Fill	25,400 cy	4.00	101,600	
			Replace Topsoil	2,519 cy	12.00	30,228	
			Dispose Excess Topsoil	4,080 cy	5.50	22,440	Spread Onsite
			Fine Grade	20,636 sy	0.25	5,159	
			Engineering & Layout	6 wks	2,500.00	15,000	
			Temporary Roads and Walks	1,496 ton	23.00	34,408	
			Rock - Hard Pan, Unsuitable Materials	2,000 cy	25.00	50,000	
			Excavation			410,029	
			<b>Erosion Control</b>				
			Erosion Subcontractor	8 acre	3,000.00	24,000	
			Maintain & Remove	1 ls	5,000.00	5,000	
			Erosion Control			29,000	
			<b>SITEWORK</b>			439,029	
			<b>MISCELLANEOUS CHANGES</b>				
			<b>Changes to GMP</b>				
			VE Delete Rock - Hard Pan, Unsuitable Materials	-2,000 cy	25.00	(50,000)	VE
			<b>Changes to GMP</b>			(50,000)	
			<b>MISCELLANEOUS CHANGES</b>			(50,000)	
			<b>G1030 Site Earthwork</b>	<b>28,080 cy</b>	<b>13.85</b>	<b>389,029</b>	
		<b>G1040</b>	<b>Hazardous Waste Removal</b>				
			<b>SITEWORK</b>				
			Hazardous Materials				
			Hazardous Materials - NIC	ea		0	Excluded from Proposal
			Hazardous Materials			0	
			<b>SITEWORK</b>			0	
			<b>G1040 Hazardous Waste Removal</b>			0	
			<b>G10 Site Preparation</b>	<b>38,720 sy</b>	<b>10.87</b>	<b>421,029</b>	<b>Affected Area</b>
	<b>G20</b>		<b>Site Improvements</b>				
		<b>G2010</b>	<b>Roadways</b>				
			<b>SITEWORK</b>				
			Site Concrete				
			Concrete curbs and gutters	2,215 lf	18.00	39,870	
			Delete Concrete curbs & gutters	-2,215 lf	18.00	(39,870)	Water drains to road side ditches
			Road Drainage Ditches	1 ls	5,000.00	5,000	Allowance
			Site Concrete			5,000	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>Asphalt Paving</b>				
			Roadway Paving	1,305 sy	25.00	32,625	
			Mill & Overlay Road	1,738 sy	15.00	26,070	
			<b>Asphalt Paving</b>			<b>58,695</b>	
			<b>Site Signage</b>				
			Sign Stop	4 ea	85.00	340	
			Sign Directional	2 ea	85.00	170	
			<b>Site Signage</b>			<b>510</b>	
			<b>SITEWORK</b>			<b>64,205</b>	
			<b>G2010 Roadways</b>	<b>3,043 sy</b>	<b>21.10</b>	<b>64,205</b>	
<b>G2020</b>			<b>Parking Lots</b>				
			<b>SITEWORK</b>				
			<b>Site Concrete</b>				
			Straight Curb (CG-2)	3,906 lf	16.00	62,496	
			<b>Site Concrete</b>			<b>62,496</b>	
			<b>Asphalt Paving</b>				
			Asphalt Paving - 2/8	4,731 sy	18.00	85,158	
			Asphalt Paving - 1 1/2/8	8,664 sy	21.00	181,944	
			<b>Asphalt Paving</b>			<b>267,102</b>	
			<b>Paving Marking</b>				
			Parking Stall	232 ea	15.00	3,480	
			Painted H.C. Symbol	5 ea	25.00	125	
			Painted Island	3 ea	25.00	75	
			Parking Bumpers	155 ea	50.00	7,750	
			<b>Paving Marking</b>			<b>11,430</b>	
			<b>Site Signage</b>				
			Sign Handicap Parking	5 ea	85.00	425	
			<b>Site Signage</b>			<b>425</b>	
			<b>SITEWORK</b>			<b>341,453</b>	
			<b>G2020 Parking Lots</b>	<b>13,395 sy</b>	<b>25.49</b>	<b>341,453</b>	
<b>G2030</b>			<b>Pedestrian Paving</b>				
			<b>SITEWORK</b>				
			<b>Site Concrete</b>				
			Concrete walks	7,429 sf	4.75	35,288	
			Add for Deco Concrete finish	2,558 sf		0 NIC	
			<b>Site Concrete</b>			<b>35,288</b>	
			<b>SITEWORK</b>			<b>35,288</b>	
			<b>G2030 Pedestrian Paving</b>	<b>7,429 sf</b>	<b>4.75</b>	<b>35,288</b>	
<b>G2040</b>			<b>Site Development</b>				
			<b>SITEWORK</b>				
			<b>Site Concrete</b>				
			Dumpster Pad	482 sf	5.80	2,796	
			Car Wash Pad	800 sf	5.50	4,400	
			Concrete Paving @ Loading Dock	10,950 sf	6.50	71,175	
			<b>Site Concrete</b>			<b>78,371</b>	
			<b>Retaining Walls</b>				
			Keystone Block Retaining Walls System	1,019 sf	25.00	25,475	
			<b>Retaining Walls</b>			<b>25,475</b>	
			<b>Site Signage</b>				
			Building Pylon Signs	2 ea	0.01	0 By Owner	
			<b>Site Signage</b>			<b>0</b>	
			<b>Site Improvements</b>				
			Dumpster Enclosures	1 ea	15,000.00	15,000	

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			Site Improvements			15,000	
			SITEWORK			118,846	
			METALS				
			Miscellaneous Metals				
			Pipe Bollard	8 each	345.00	2,760	
			Railing at retaining walls	125 lf	65.00	8,125	
			Miscellaneous Metals			10,885	
			METALS			10,885	
			SPECIALTIES				
			Flagpoles				
			Flagpole	2 ea	1,800.00	3,600	
			Flagpoles			3,600	
			SPECIALTIES			3,600	
			G2040 Site Development	38,720 sy	3.44	133,331	
G2050			Landscaping				
			SITEWORK				
			Irrigation System				
			Irrigation System	ls		0	Not allowed per LEED
			Irrigation System			0	
			Landscaping				
			Fine Grade	20,636 sy		0	By DGIF
			Seeding	20,636 sy		0	By DGIF
			Lg. Trees	99 ea		0	By DGIF
			Evergreen Trees	15 ea	0.00	0	By DGIF
			Small Trees	117 ea		0	By DGIF
			Bushes	238 ea		0	By DGIF
			Ground Cover Plants	1,988 ea		0	By DGIF
			Landscape Beds	5,966 sf		0	By DGIF
			Landscaping			0	
			SITEWORK			0	
			G2050 Landscaping	5,966 sf		0	green area
			G20 Site Improvements	38,720 sy	14.83	574,276	Affected Area
G30			Site Mechanical Utilities				
G3010			Water supply				
			SITEWORK				
			Domestic Water				
			Vault, Meter, Detector Ck. & Tap	1 ls	15,000.00	15,000	
			1" Water Line	94 lf	16.00	1,504	
			2" Water Line	163 lf	20.00	3,260	
			6" Water Line	163 lf	38.00	6,194	
			8" DI Water Line	1,346 lf	40.00	53,840	
			Fire Hydrants	3 ea	2,500.00	7,500	
			Water & Sewer Connection Fee-2"	ea		0	Owner
			Tap And Sleeve 16"	1 ea	5,000.00	5,000	
			Tie-in at exist 8"	1 ea	2,000.00	2,000	
			Domestic Water			94,298	
			SITEWORK			94,298	
			G3010 Water supply	1,766 lf	53.40	94,298	total pipe runs
G3020			Sanitary Sewer				
			SITEWORK				
			Sanitary Sewers				
			4" PVC Line	102 lf	25.00	2,550	
			6" PVC Line	84 lf	36.00	3,024	
			8" PVC	108 lf	40.00	4,320	



BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
			<b>Sanitary Sewers</b>				
			Manhole	3 ea	3,000.00	9,000	
			Clean-out	1 ea	1,800.00	1,800	
			<b>Sanitary Sewers</b>			<b>20,694</b>	
			<b>SITEWORK</b>			<b>20,694</b>	
			<b>G3020 Sanitary Sewer</b>	<b>294 lf</b>	<b>70.39</b>	<b>20,694</b>	<b>total pipe runs</b>
<b>G3030</b>			<b>Storm Sewer</b>				
			<b>SITEWORK</b>				
			<b>Storm Drain</b>				
			Pipe Conc Reinforced 18"	420 lf	36.00	15,120	
			Pipe Conc Reinforced 21"	64 lf	42.00	2,688	
			Pipe Conc Reinforced 24"	138 lf	48.00	6,624	
			Pipe Conc Reinforced 30"	290 lf	60.00	17,400	
			Pipe Conc Reinforced 54"	538 lf	200.00	107,600	
			Drop Inlets	9 ea	4,000.00	36,000	
			Stormwater Quality Filter Pod	1 ea	10,000.00	10,000	
			Trench Drain	40 lf	50.00	2,000	Car Wash
			Oil / Water Separator	1 ea	2,500.00	2,500	Car Wash
			Monitoring Manhole	1 ea	3,000.00	3,000	Car Wash
			<b>Storm Drain</b>			<b>202,932</b>	
			<b>Roof Drain System</b>				
			8" PVC Drain Lines	200 lf	30.00	6,000	
			Downspout Boots & Connections	2 ea	500.00	1,000	
			<b>Roof Drain System</b>			<b>7,000</b>	
			<b>SITEWORK</b>			<b>209,932</b>	
			<b>G3030 Storm Sewer</b>	<b>1,650 lf</b>	<b>127.23</b>	<b>209,932</b>	<b>total pipe runs</b>
			<b>G30 Site Mechanical Utilities</b>	<b>3,710 lf</b>	<b>87.58</b>	<b>324,924</b>	<b>Length of Run</b>
<b>G40</b>			<b>Site Electrical Utilites</b>				
	<b>G4020</b>		<b>Site Lighting</b>				
			<b>ELECTRICAL</b>				
			<b>Lighting</b>				
			Site Lights	30 ea	2,300.00	69,000	
			<b>Lighting</b>			<b>69,000</b>	
			<b>Electrical Concrete</b>				
			Pole Bases	30 ea	500.00	15,000	
			<b>Electrical Concrete</b>			<b>15,000</b>	
			<b>ELECTRICAL</b>			<b>84,000</b>	
			<b>G4020 Site Lighting</b>	<b>30 ea</b>	<b>2,800.00</b>	<b>84,000</b>	<b>number of fixtures</b>
			<b>G40 Site Electrical Utilites</b>	<b>3,000 lf</b>	<b>28.00</b>	<b>84,000</b>	<b>Length of Run</b>
			<b>G Sitework &amp; Utilities</b>	<b>47,165 sf</b>	<b>29.77</b>	<b>1,404,229</b>	<b>Gross Square Feet</b>

BCOM1 1-1	BCOM1 1-2	BCOM1 1-3	Description	Takeoff Quantity	Total Cost/Unit	Total Amount	Notes
Z			<b>General Req. &amp; OHP</b>				
	Z10		<b>Added to Cost of Work</b>				
		Z1030	<b>Permits and Fees</b>				
			<b>INDIRECT COSTS</b>				
			Indirect Costs				
			Swmp Plan and Administration	1 ls	0.01	0	Plan by Civil, Administered by K+L
			Indirect Costs			0	
			<b>INDIRECT COSTS</b>			0	
			<b>Z1030 Permits and Fees</b>	<b>48,710 sf</b>		0	
		Z1090	<b>Misc. Add On</b>				
			<b>INDIRECT COSTS</b>				
			Indirect Costs				
			Water Sewer Connection Fees	1 ls	0.01	0	By Developer
			Site Bonds	1 ls	0.01	0	By Developer
			Soils Testing	1 ls	0.01	0	By Developer
			Special Inspections	1 ls	0.01	0	By Developer
			Indirect Costs			0	
			<b>INDIRECT COSTS</b>			0	
			<b>Z1090 Misc. Add On</b>	<b>48,710 sf</b>		0	
			<b>Z10 Added to Cost of Work</b>	<b>47,165 sf</b>		0	Gross Building Area
			<b>Z General Req. &amp; OHP</b>	<b>47,165 sf</b>		0	Gross Square Feet

**Estimate Totals**

Description	Amount	Totals	Cost per Unit
Labor	88,080		1.867 /sf
Material	174,037		3.690 /sf
Subcontract	6,350,722		134.649 /sf
Equipment			
Other	17,337		0.368 /sf
	6,630,176	6,630,176	140.574 /sf
General Conditions (Z1010)	240,000		5.089 /sf
	240,000	6,870,176	145.663 /sf
License Tax - Hanover (Z1030)	1,153		0.024 /sf
Builders Risk Insurance (Z1030)	10,757		0.228 /sf
C.G.L. Insurance (Z1030)	34,410		0.730 /sf
VDOT Permit (Z1030) By Owner			
Hanover Utility Permit - Owner			
Bldg. Permit by Owner (Z1030)			
	46,320	6,916,496	146.645 /sf
Estimate Contingency (Z1040)	276,660		5.866 /sf
CM Contg. (Z1040)	143,863		3.050 /sf
	420,523	7,337,019	155.561 /sf
CM Fee (Z1050)	293,120		6.215 /sf
	293,120	7,630,139	161.775 /sf
Contractor's P&P Bond	53,275		1.130 /sf
	53,275	7,683,414	162.905 /sf
<b>Total</b>		<b>7,683,414</b>	<b>162.905 /sf</b>

B



Heritage + Innovation

1607 Ownby Lane  
Richmond, Virginia 23220  
804.288.0082

110 10 ½ Street  
Charlottesville, Virginia 22903  
434.244.4660

2815-A North Augusta Street  
Staunton, Virginia 24401  
540.885.9980

**TAB G**  
**GENERAL CONDITIONS OF THE**  
**DESIGN-BUILD CONTRACT**

See attachment.

**COMMONWEALTH OF VIRGINIA**



**GENERAL CONDITIONS OF THE DESIGN-BUILD CONTRACT**

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**PLEASE NOTE:** These CO-7DB, General Conditions of the Design Build Contract, have been created specifically for the use of agencies of the Commonwealth of Virginia, which may not alter their provisions without the express written approval of the Virginia Department of General Services, Division of Engineering and Buildings. These General Conditions have significant legal implications and shall not be altered or modified. Nothing in the CO-7DB, General Conditions of the Design Build Contract, shall be amended or deleted or its intent changed, except by an approved and properly issued Supplemental General Condition. The Commonwealth makes no representation as to their suitability for any other purpose. (Note: Political subdivisions intending to modify the General Conditions for their use should consult with their legal counsel.)

**1. DEFINITIONS**

Whenever used in these General Conditions of the Design Build Contract ("General Conditions") or in the Contract Documents, the following terms have the meanings indicated, which are applicable to both the singular and plural and the male and female gender thereof:

**Agency:** The Agency, institution or department which is a party to the Contract. For purposes of the Contract, the term Owner shall include such Agency, whether or not the Agency owns the site or the building.

**Architect, Engineer, Architect/Engineer, or A/E:** The term used to designate the duly Virginia licensed persons or entities designated by the Design Build Contractor to perform and provide the Architectural and Engineering design and related services in connection with the Work.

**Beneficial Occupancy:** The condition after Substantial Completion but prior to Final Completion of the Project at which time the Project, or portion thereof, is sufficiently complete and systems operational such that the Owner could, after obtaining necessary approvals and certificates, occupy and utilize the space for its intended use. Guarantees and warranties applicable to that portion of the Work begin on the date the Owner accepts the Project, or a portion thereof, for such Beneficial Occupancy, unless otherwise specified in the Supplemental General Conditions or by separate agreement.

**Change Order:** A document (Form CO-11) issued on or after the effective date of the Contract Between Owner and Design Build Contractor (Form CO-9DB) which is agreed to by the Contractor and approved by the Owner, and which authorizes an addition, deletion or revision in the Work, including any adjustment in the Contract Price and/or the Contract Completion Date. The term Change Order shall also include written orders to proceed issued pursuant to Section 38 (a) (3). A Change Order, once signed by all parties, is incorporated into and becomes a part of the Contract.

**Code of Virginia:** 1950 Code of Virginia as amended. Sections of the Code referred to herein are noted by § xx-xx.

**Construction:** The term used to include new construction, reconstruction, renovation, restoration, major repair, demolition and all similar work upon buildings and ancillary facilities, including any draining, dredging, excavation, grading or similar work upon real property.

**Contract:** The Contract Between Owner and Design Build Contractor, DGS-30-065 (Form CO-9DB) hereinafter referred to as the Contract.

**Contract Completion Date:** The date by which the Work must be Substantially Complete. The Contract Completion Date is customarily established in the Notice to Proceed, based on the Time for Completion. In some instances, however, the Contract contains a mandatory Contract Completion Date, which shall be stated in the Request for Proposal.

**Contract Documents:** The Contract Between Owner and Design Build Contractor (CO-9DB) signed by the Owner and the Contractor and any documents expressly incorporated therein. Such incorporated documents customarily include the Owner's Request for Proposal (RFP) and the Technical Proposal and Cost Proposal including any modifications submitted by the Contractor in response to the RFP, these General Conditions, any Supplemental General Conditions, any Special Conditions, the plans and the specifications, and all modifications, including addenda and subsequent Change Orders.

**Contract Price:** The total compensation payable to the Contractor for performing the Work, subject to modification by Change Order.

**Contractor or Design Build Contractor:** The person or entity with whom the Owner has entered into a contract to do the Work.



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**Date of Commencement:** the date as indicated in the written Notice to Proceed, the receipt of the earliest Building Permit, or a date mutually agreed to between the Owner and Contractor in writing, whichever is the latest.

**Day(s):** Calendar day(s) unless otherwise noted.

**Defective:** An adjective which, when modifying the word Work, refers to Work that is unsatisfactory, faulty, deficient, does not conform to the Contract Documents or does not meet the requirements of inspections, standards, tests or approvals required by the Contract Documents, or Work that has been damaged prior to the final payment (unless responsibility for the protection thereof has been assumed by Owner at Substantial Completion or Beneficial Occupancy).

**Design Build Proposal:** The Technical Proposal and the Cost Proposal including modifications submitted by the Design Build Contractor in response to the Owner's RFP setting forth the design concepts, design criteria, pricing requirements, and other conditions of the Work to be performed.

**Drawing:** A page or sheet of the Plans which presents a graphic representation, usually drawn to scale, showing the technical information, design, location, and dimensions of various elements of the Work. The graphic representations include, but are not limited to, plan views, elevations, transverse and longitudinal sections, large and small scale sections and details, isometrics, diagrams, schedules, tables and/or pictures.

**Emergency:** Any unforeseen situation, combination of circumstances, or a resulting state that poses imminent danger to health, life or property.

**Field Order:** A written order issued by the A/E which clarifies or explains the plans or specifications, or any portion or detail thereof, without changing the design, the Contract Price, the Time for Completion or the Contract Completion Date.

**Final Completion Date:** The date of the Owner's acceptance of the Work from the Contractor upon confirmation from the Contractor that the Work is totally complete in accordance with Section 44(b).

**Final Payment:** The final payment that the Contractor receives pursuant to the applicable provisions of Section 36, except in the event no final payment is made due to termination of the Contract under either Sections 41 or 42. In the event of a termination for cause under Section 41, the Final Payment shall be when the termination became effective. In the event of a termination for convenience under Section 42, the Final Payment shall be either the payment of compensation for termination that the Contractor receives according to the provisions of Subsection 42, or the Owner's determination that no compensation for termination is due the Contractor under Subsection 42, as the case may be.

**Float:** The excess time included in a construction schedule to accommodate such items as inclement weather and associated delays, equipment failures, and other such unscheduled events. It is the contingency time associated with a path or chain of activities and represents the amount of time by which the early finish date of an activity may be delayed without impacting the critical path and delaying the overall completion of the Project. Any difference in time between the Contractor's approved early completion date and the Contract Completion Date shall be considered a part of the Project float.

**Float, Free:** The time (in days) by which an activity may be delayed or lengthened without impacting upon the start day of any activity following in the chain.

**Float, Total:** The difference (in days) between the maximum time available within which to perform an activity and the duration of an activity. It represents the time by which an activity may be delayed or lengthened without impacting the Time for Completion or the Contract Completion Date.

**Notice:** All written notices, including demands, instructions, claims, approvals and disapprovals, required or authorized under the Contract Documents. Any written notice by either party to the Contract shall be sufficiently given by any one or combination of the following, whichever shall first occur: (1) delivered by hand to the last known business address of the person to whom the notice is due; (2) delivered by hand to the person's authorized agent, representative or officer wherever they may be found; or (3) enclosed in a postage

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prepaid envelope addressed to such last known business address and delivered to a United States Postal Service official or mailbox. Notice is effective upon such delivery. All notices to the Owner should be directed to the Project Manager.

If the Owner and the Contractor agree in writing that Notices transmitted by Facsimile (Fax) or e-mail are acceptable for the Project, such Notice shall be transmitted to the Fax number or e-mail address listed in the agreement and shall have a designated space for the Fax or e-mail Notice recipient to acknowledge his receipt by authorized signature and date. The Fax or e-mail Notice with authorized signature acknowledging receipt shall be Faxed or e-mailed back to the sender. The Faxed or e-mailed Notice shall be effective on the date it is acknowledged by authorized signature. All Faxed or e-mailed Notices shall also be sent by hard copy, which shall be effective upon delivery, as provided herein. Notice shall be effective upon the date of acknowledgment of the Faxed or e-mailed Notice or the date of delivery, whichever occurs first.

**Notice to Proceed:** A written notice given by the Owner to the Contractor (with a copy to A/E) fixing the date on which the Contract time will commence for the Contractor to begin the prosecution of the Work in accordance with the requirements of the Contract Documents. The Notice to Proceed will customarily identify a Contract Completion Date.

**Owner:** The public body with whom the Contractor has entered into a contractual agreement and for whom the Work or services is to be provided. The term "Owner", as used herein, shall also mean the Agency.

**Person:** This term includes any individual, corporation, partnership, association, company, business, trust, joint venture, or other legal entity.

**Plans:** The term used to describe the group or set of project-specific drawings prepared by the Design Build Contractor's A/E and acceptable to the Owner which describe the proposed Work in sufficient detail and provide sufficient information for the Building Official to determine code compliance and for the Contractor to perform the Work and which are included in the Contract Documents.

**Project:** The term used instead of the specific or proper assigned title of the entire undertaking which includes, but is not limited to, the "Work" described by the Contract Documents, including any specific Phases or Subphases of such Work.

**Project Inspector:** One or more persons employed by the Owner to inspect the Work for the Owner and/or to document and maintain records of activities at the Site to the extent required by the Owner. The Owner shall notify the Contractor in writing of the appointment of such Project Inspector(s). The scope of the Project Inspector's authority with respect to the Contractor is limited to that indicated in Section 16(e) and (f) and as supplemented by the Owner in writing to the Project Inspector and to the Contractor.

**Project Manager:** The Project Manager as used herein shall be the Owner's designated representative on the Project. The Project Manager shall be the person through whom the Owner generally conveys written decisions and notices. All notices due the Owner and all information required to be conveyed to the Owner shall be conveyed to the Project Manager. The scope of the Project Manager's authority is limited to that authorized by the Owner, who shall provide written information to the Contractor at the Preconstruction meeting defining those limits. Upon receipt of such information, the Contractor shall be on notice that it cannot rely on any decisions of the Project Manager outside the scope of his authority. Nothing herein shall be construed to prevent the Owner from issuing any notice directly to the Contractor. The Owner may change the Project Manager from time to time and may, in the event that the Project Manager is absent, disabled or otherwise temporarily unable to fulfill his duties, appoint an interim Project Manager.

**Provide:** Shall mean furnish and install ready for its intended use.

**Schedule of Values:** The schedule prepared by the Contractor and acceptable to the Owner which indicates the value of that portion of the Contract Price to be paid for each trade or major component of the Work.

**Site:** Shall mean the location at which the Work is performed or is to be performed.

**Specifications:** That part of the Contract Documents prepared by the Design Build Contractor's A/E and acceptable to the Owner which contain the written design parameters and the technical descriptions of materials, equipment, construction systems, standards, and workmanship which describe the proposed Work in sufficient detail and provide sufficient information for the Building Official to determine code compliance and for the Contractor to perform the Work. (The General Conditions, any Supplemental General Conditions, various bidding information and instructions, and blank copies of various forms to be used during the execution of the Work are usually bound with the Specifications.)

**Subcontractor:** A person having a direct contract with Contractor or with any other Subcontractor for the performance of the Work. Subcontractor includes any person who provides on-site labor but does not include any person who only furnishes or supplies materials for the Project.

**Submittals:** All shop, fabrication, setting and installation drawings, diagrams, illustrations, schedules, samples, and other data required by the Contract Documents which are specifically prepared by or for the Contractor to illustrate some portion of the Work and all illustrations, brochures, standard schedules, performance charts, instructions, diagrams and other information prepared by a Supplier and submitted by the Contractor to illustrate material or equipment conformance of some portion of the Work with the requirements of the Contract Documents.

**Substantial Completion or Substantially Complete:** The condition when the Owner agrees that the Work, or a specific portion thereof, is sufficiently complete, in accordance with the Contract Documents, so that it can be utilized by the Owner for the purposes for which it was intended. The Owner at its sole discretion may, after obtaining the necessary approvals and certificates, take Beneficial Occupancy at this time or choose to wait to occupy until after Final Completion is achieved.

**Supplemental General Conditions:** That part of the Contract Documents which amends or supplements the General Conditions.

**Supplier:** A manufacturer, fabricator, distributor, materialman or vendor who provides material for the Project but does not provide on-site labor.

**Time for Completion:** The number of consecutive calendar days following the Date of Commencement which the Contractor has to substantially complete all Work required by the Contract.

**Underground Facilities:** All pipelines, conduits, ducts, cables, wires, manholes, vaults, tanks, tunnels or other such facilities or attachments, and any encasements containing such facilities which are or have been installed underground to furnish any of the following services or materials: electricity, gases, steam, liquid petroleum products, telephone or other communications, cable television, sewage and drainage removal, traffic or other control systems or water.

**Work:** The services performed under this Contract including, but not limited to, furnishing labor, and furnishing and incorporating materials and equipment into the construction. The Work also includes the entire completed construction, or the various separately identifiable parts thereof, required to be provided under the Contract Documents or which may reasonably be expected to be provided as part of a complete, code compliant, and functioning system for those systems depicted in the plans and specifications.

## **2. CONTRACT DOCUMENTS**

- (a) The Contract Between Owner and Design Build Contractor (CO-9DB), the Workers' Compensation Certificate of Coverage (CO-9a), the Standard Performance Bond (CO-10), the Standard Labor and Material Payment Bond (CO-10.1), the Schedule of Values and Certificate for Payment (CO-12), the Affidavit of Payments of Claims (CO-13), the Contractor's Certificate of Substantial Completion (CO-13.2a), and the Contractor's Certificate of Completion (CO-13.2) issued by the Commonwealth of Virginia in its Construction and Professional Services Manual for Architects & Engineers (CPSM) are forms incorporated in these Design Build General Conditions by reference and are made a part hereof to the same extent as though fully set forth herein. They must be used by the Contractor for their respective purposes.

- (b) All time limits stated in the Contract Documents, including but not limited to the Time for Completion of the Work, are of the essence of the Contract.
- (c) The Contract Between Owner and Design Build Contractor shall be signed by the Owner and the Design Build Contractor in as many original counterparts as may be mutually agreed upon, each of which shall be considered an original.
- (d) **To the extent required under the scope of the Design Build Contracts**, the Virginia Department of Transportation "Road & Bridge Specifications", current edition, and Virginia Department of Transportation "Road Design Standards", current edition, are included by reference and shall be used by the Contractor's A/E as the referenced standards for design of the roads, parking areas, sidewalks, curbs, and other sitework.
- (e) The Commonwealth of Virginia "Construction and Professional Services Manual – current edition including any revisions to the Manual which may be issued (CPSM or the Manual) is included by reference and shall be used by the Contractor's A/E as the referenced standards for design of the buildings. The following provisions of the CPSM specifically apply to the Work provided under the Contract:

Selected Provisions of "The Commonwealth of Virginia Construction  
And Professional Services Manual, 2012 Edition"

Table of Applicable Provisions

Applicability of the Construction and Professional Services Manual (CPSM):

- Chapter 1, Sections 1.3 and 1.4 concept and design philosophy apply
  - Chapter 2 Definitions apply
  - Chapter 3 applies to Contractor as the entity providing the design to the Department for the project.
  - CO-3a - These Terms and Conditions apply to the Contractor including its Architect / Engineer for the design portion of the Design Build Contract.
  - Chapter 4, Sections 4.0 through 4.18. Technical Standards for Buildings on State Property (i.e. codes, standards, energy conservation design and operation requirements) apply to the design of the Project. The current edition of the Virginia Uniform Statewide Building Code which is in effect at the time the construction documents are submitted to the Building Official for Building Permit shall be the applicable Building Code for that phase of the project
  - Chapter 5, Sections 5.0 through 5.16 describing the content of a Working Drawings submittal necessary may apply in conjunction with the requirements of the Building Code, if any. Sections 815, Structural and Special Inspections, and 816, "Commissioning" of HVAC Systems, also apply.
  - Chapter 6, Design and Procurement Criteria, Policies and Guidelines, apply to the design except for those sections concerning procurement procedures.
  - Chapter 7 Sections 7.0 through 7.29 apply to some extent, depending upon the final form of Design-Build Contract and its attachments.
  - Appendices A, C, D, I, M, and N apply to the design services rendered, depending upon the final scope of work.
- (f) Anything called for by one of the Contract Documents and not called for by the others shall be of like effect as if required or called for by all, except that a provision clearly designed to negate or alter a provision contained in one or more of the other Contract Documents shall have the intended effect. In the event of conflicts among the Contract Documents, the Contract Documents shall take precedence in the following order: the Contract between Owner and Contractor; the Supplemental General Conditions; the General Conditions; the Special Conditions; the approved specifications with attachments; and the approved plans.

(g)

(h) All correspondence, invoices, memoranda, submittals and other documents related to this Project whether generated by the Owner, the A/E, the Contractor or others should be identified at the beginning of the document with the eleven digit (XXX-XXXXXX-XXX) Project Code Number. Additional identification such as a job number, purchase order number or such may also be shown at the generator's option.

(g) If any provision of this Contract shall be held invalid by any court of competent jurisdiction, such holding shall not invalidate any other provision.

### **3. LAWS AND REGULATIONS**

(a) The Contractor shall comply with all laws, ordinances, rules, regulations and lawful orders of any public authority bearing on the performance of the Work and shall give all notices required thereby. The Contractor shall assure that all Subcontractors and tradesmen who perform Work on the project are properly licensed by the Department of Professional and Occupational Regulation as required by Title 54.1, Chapter 11, Articles 1 and 3 and by applicable regulations.

(b) This Contract and all other contracts and subcontracts are subject to the provisions of Articles 3 and 5, Chapter 4, Title 40.1, Code of Virginia, relating to labor unions and the "right to work." The Contractor and its Subcontractors, whether residents or nonresidents of the Commonwealth, who perform any Work related to the Project shall comply with all of the said provisions.

(c) IMMIGRATION REFORM AND CONTROL ACT OF 1986: By signing this Contract, the Contractor certifies that it does not and will not during the performance of this Contract violate the provisions of the Federal Immigration Reform and Control Act of 1986, which prohibits employment of illegal aliens.

(d) The provisions of all rules and regulations governing safety as adopted by the Safety Codes Commission of the Commonwealth of Virginia and as issued by the Department of Labor and Industry under Title 40.1 of the Code of Virginia shall apply to all Work under this Contract. Inspectors from the Department of Labor and Industry shall be granted access to the Work for inspection without first obtaining a search or administrative warrant.

(e) Building Permit: Because this Project is on Commonwealth of Virginia property, codes or zoning ordinances of local political subdivisions do not apply to Work on the property. The Virginia Uniform Statewide Building Code applies to the Work and is administered by the Building Official for State-owned Buildings. The Contractor shall provide to the Owner for permit submission the necessary copies of plans, specifications, and other documents required by the Building Official. The Building Permit will be obtained and paid for by the Owner. All other permits, local license fees, business fees, taxes, or similar assessments imposed by the appropriate political subdivision shall be obtained and paid for by the Contractor. See Section 23.(e) for requirements for plans and specification for Building Permits. See Section 25 for utility connection fees and services.

(f) The Contractor shall include in each of its subcontracts a provision requiring each Subcontractor to include or otherwise be subject to the same payment and interest requirements in Subsections (a), (b), and (c) of Section 37 of these General Conditions with respect to each lower-tier Subcontractor and Supplier.

(g) The Contractor, if not licensed as an asbestos abatement contractor in accordance with §54.1-514, Code of Virginia, shall have all asbestos-related Work performed by subcontractors who are duly licensed as asbestos contractors appropriate for the Work required.

(h) Lead Based Paint Activities: If the Contract Documents indicate that lead based paint is present on existing materials, components, or surfaces, the Contractor shall conform to the following:

(1) The requirements set forth in 59 Federal Register 45,872 (September 2, 1994) Proposed Rule) - *Lead; Requirements for Lead based Paint Activities (Proposed Rules)* in selecting and performing the means, methods and procedures for performing the Work. This includes, but is not limited to, training of personnel, lead abatement, encapsulation of lead containing materials, removal and handling of lead containing materials, and methods of disposal. When the Final Rule, to be codified at 40 CFR 745, supersedes the Proposed Rule, the Contractor shall be responsible for conforming to the Final Rule, as of the effective date set forth therein.

(2) The requirements for employee protection contained in 29 CFR Part 1926, Subpart D, and the requirements for record-keeping contained 29 CFR Part 1910.

(3) The Virginia Department of Labor and Industry's (DLI) Emergency Regulation published in the May 27, 1996 Virginia Register, requiring, among other things, that a permit be issued to the lead abatement contractor, or any subsequent regulation issued by DLI.

- (i) If the Contractor violates laws or regulations that govern the Project, the Contractor shall take prompt action to correct or abate such violation and shall indemnify and hold the Owner harmless against any fines and/or penalties that result from such violation. To the extent that such violation is the result of negligence or other actionable conduct of the Contractor, the Contractor shall indemnify and hold the Owner harmless against any third party claims, suits, awards, actions, causes of action or judgments, including but not limited to attorney's fees and costs incurred thereunder, that arise or result from such violation.
- (j) If the Work includes any land disturbing activities, the Contractor shall have on-site an individual certified by the Department of Conservation and Recreation as a Responsible Land Disturber in accordance with §10.1-563, Code of Virginia
- (k) The Contractor is neither required nor prohibited from entering into or adhering to agreements with one or more labor organizations, or otherwise discriminating against subcontractors for becoming or refusing to become, or remaining signatories to or otherwise adhering to, agreements with one or more labor organizations. This section does not prohibit contractors or subcontractors from voluntarily entering into agreements with one or more labor organizations. Both the agency and contractor are entitled to injunctive relief to prevent any violation of this section.

This section does not apply to any public-private agreement for any construction in which the private body, as a condition of its investment or partnership with the state agency, requires that the private body have the right to control its labor relations policy and perform all work associated with such investment or partnership in compliance with all collective bargaining agreements to which the private party is a signatory and is thus legally bound with its own employees and the employees of its contractors and subcontractors in any manner permitted by the National Labor Relations Act, 29 U.S.C. § 151 et seq., or the Railway Labor Act, 45 U.S.C. § 151 et seq.

This section does not prohibit an employer or any other person covered by the National Labor Relations Act or the Railway Labor Act from entering into agreements or engaging in any other activity protected by law.

This section shall not be interpreted to interfere with the labor relations of persons covered by the National Labor Relations Act or the Railway Labor Act.

#### 4. NONDISCRIMINATION

- (a) §2.2-4311 of the Code of Virginia shall be applicable. It provides as follows:

“1. During the performance of this Contract, the Contractor agrees as follows:

- a. The Contractor will not discriminate against any employee or applicant for employment because of race, religion, color, sex, national origin, age, disability, or other basis prohibited by

state law relating to discrimination in employment, except where there is a bona fide occupational qualification reasonably necessary to the normal operation of the contractor. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.

- b. The Contractor, in all solicitations or advertisements for employees placed by or on behalf of the contractor, will state that such Contractor is an equal opportunity employer.
  - c. Notices, advertisements and solicitations placed in accordance with federal law, rule or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section.
2. The Contractor will include the provisions of the foregoing paragraphs a, b and c in every subcontract or purchase order of over \$10,000, so that the provisions will be binding upon each subcontractor or vendor."
- (b) Where applicable, the Virginians with Disabilities Act and the Federal Americans with Disabilities Act shall apply to the Contractor and all Subcontractors.

#### 5. PROHIBITION OF ALCOHOL AND OTHER DRUGS

- (a) §2.2-4312 of the Code of Virginia shall be applicable. It provides as follows:  
"During the performance of this contract, the contractor agrees to (i) provide a drug-free workplace for the contractor's employees; (ii) post in conspicuous places, available to employees and applicants for employment, a statement notifying employees that the unlawful manufacture, sale, distribution, dispensation, possession, or use of a controlled substance or marijuana is prohibited in the contractor's workplace and specifying the actions that will be taken against employees for violations of such prohibition; (iii) state in all solicitations or advertisements for employees placed by or on behalf of the contractor that the contractor maintains a drug-free workplace; and (iv) include the provisions of the foregoing clauses in every subcontract or purchase order of over \$10,000, so that the provisions will be binding upon each subcontractor or vendor. For the purposes of this section, "drug-free workplace" means a site for the performance of work done in connection with a specific contract awarded to a contractor in accordance with this chapter, the employees of whom are prohibited from engaging in the unlawful manufacture, sale, distribution, dispensation, possession or use of any controlled substance or marijuana during the performance of the contract."
- (b) The Contractor shall also establish, maintain and enforce policies which prohibit the following acts by all Contractor, Subcontractor and Supplier personnel at the Site:
- (1) the manufacture, distribution, dispensation, possession, or use of alcohol, marijuana or other drugs, except possession and medically prescribed use of prescription drugs; and
  - (2) the impairment of judgment or physical abilities due to the use of alcohol, marijuana or other drugs, including impairment from prescription drugs.

#### 6. TIME FOR COMPLETION

- (a) The Time for Completion for the project including any dates for completion of any designated Phase or Sub-phase shall be as stated in the Design Build Contract as **agreed upon by the Owner and Contractor, subject to Change Orders or written mutual agreement of Owner and Contractor**. The Work must be substantially completed by the Time for Completion or the Contract Completion Date. Unless otherwise specified, the Contractor shall achieve Final Completion within thirty (30) days after the date of Substantial Completion.
- (b) The Time for Completion shall be stated in the Contract between Owner and Design Build Contractor and shall become a binding part of the Contract upon which the Owner may rely in planning the use of the facilities to be constructed and for all other purposes. If the Contractor fails to substantially complete the Work within the Time for Completion or Contract Completion Date,

as set forth in the Contract, he shall be subject to payment of actual damages incurred by the Owner or liquidated damages, if provided for in the Contract.

- (c) The Contractor, in submitting his proposal, acknowledges that he has taken into consideration normal weather conditions. Normal weather does not mean statistically average weather, but rather means a range of weather patterns which might be anticipated based on weather data for the past ten (10) years, (i.e., conditions which are not extremely unusual). Normal weather conditions shall be determined from the public historical records available, including the U.S. Department of Commerce, Local Climatological Data Sheets, National Oceanic and Atmospheric Administration / Environmental Data and Information Service, National Climatic Center and National Weather Service. The data sheets to be used shall be those for the locality or localities closest to the site of the work. No additional compensation will be paid to the Contractor because of adverse weather conditions; however, an extension of time for abnormal weather will be considered by the Owner under the following conditions, all of which must be strictly complied with by the contractor:
- (1) The request for additional time shall be further substantiated by weather data collected during the period of delay at the Site. Said data must demonstrate that an actual departure from normal weather occurred at the Site during the dates in question.
  - (2) The extension requested must be supported by a delay in completion of the entire Project shown on the critical path of the accepted CPM Schedule or the approved bar graph schedule required for the Project. Extensions will be granted only for delays in completion of the Project, not for that portion of any delay which consumes only "float" time.
  - (3) A request for extension of time based on abnormal weather must be made in writing within fourteen (14) calendar days of the completion of the calendar month during which abnormal weather is claimed at the Site.
  - (4) All of the evidence and data supporting the request (including both historical data and the recordings at the Site during the time of delay) must be furnished to the Owner before any consideration will be given to the request. That supporting data shall be submitted by the end of the calendar month following the month for which the request is made.
- (d) The failure by the Contractor to comply with any and all of the conditions in (c) above shall constitute a waiver of claims for the extension of time for abnormal weather.
- (e) The Contractor represents and agrees that he has taken into account in his bid the requirements of the bid documents, the Contract Documents, local conditions, availability of materials, equipment, and labor, and any other factors which may affect the performance of the Work. The Contractor agrees and warrants that he will achieve Substantial Completion of the Work to allow the Owner to have Beneficial Occupancy not later than the Time for Completion or Contract Completion Date. The Contractor agrees and warrants that he will achieve Final Completion of the Work (the entire completion of all Work, including "punch list" items), not later than thirty (30) days after achieving Substantial Completion.

## **7. CONDITIONS AT SITE**

- (a) The Contractor shall have visited the Site prior to submitting its proposal and is totally responsible for having ascertained pertinent local conditions such as location, accessibility and general character of the Site, and the character and extent of existing conditions, improvements, and work within or adjacent to the Site. Claims, which result from the Contractor's failure to do so, will be deemed waived.
- (b) If, in the performance of the Contract, hidden physical conditions of a building being modified are exposed revealing unusual or materially different conditions from those ordinarily encountered or inherent in work of this nature, or if subsurface or latent conditions at the Site are found which are materially different from those frequently present in the locality or from those indicated in the



Contract Documents, the Contractor must report such conditions to the Owner and to the Architect/Engineer before the conditions are disturbed. Upon such notice, or upon his own observation of such conditions, the Architect/Engineer shall promptly propose such changes in the Contract Documents as he finds necessary to conform to the different conditions. Any change in the cost of the Work or additional time needed for completion must be requested pursuant to Sections 38, 39 and/or 43 of these General Conditions.

- (c) If the Contractor, during the course of the Work, observes the existence of any material which he knows, should know, or has reason to believe is hazardous to human health, the Contractor shall promptly notify the Owner. The Owner will provide the Contractor with instructions regarding the disposition of the material. The Contractor shall not perform any Work involving the material or any Work causing the material to be less accessible prior to receipt of special instructions from the Owner.

## **8. CONTRACT SECURITY**

- (a) For contracts with a value exceeding five hundred thousand dollars (\$500,000), the Contractor shall deliver to the Owner or its designated representative, a Commonwealth of Virginia Standard Performance Bond, DGS-30-084 (Form CO-10) and a Commonwealth of Virginia Standard Labor and Material Payment Bond, DGS-30-088 (Form CO-10.1) each fully executed by the Contractor and one or more surety companies legally licensed to do business in Virginia and each in an amount equal to one hundred percent (100%) of the accepted proposal. If more than one Surety executes a bond, each shall be jointly and severally liable to the Owner for the entire amount of the bond. Sureties shall be selected by the Contractor, subject to approval by the Owner. No payment on the Contract shall be due and payable to the Contractor until the bonds have been approved by the Owner and the Office of the Attorney General of Virginia. In order to facilitate review of the bonds by the Office of the Attorney General, the power of attorney from the surety company to its agent who executes the bond shall be attached to the bond, or, if not so attached, prior to the execution of the bonds by the surety, recorded in the Office of the Clerk of Court for the City of Richmond, Virginia, at the John Marshall Court Building, 400 North Ninth Street, except when the Owner is one of the following, in which case the power of attorney must be recorded with the Clerk of Court in the place shown:

<u>OWNER</u>	<u>PLACE OF RECORDATION</u>
University of Virginia	City of Charlottesville
Old Dominion University	City of Norfolk
Norfolk State University	City of Norfolk
Christopher Newport University	City of Newport News
Virginia Polytechnic Institute And State University	County of Montgomery

- (b) For the purposes of all Standard Labor and Material Payment Bonds entered into, the term "subcontractors" as used in §2.2-4337.A.2. of the Code of Virginia is interpreted to mean any contractors who participated in the prosecution of the Work undertaken by the Contractor (referred to in §2.2-4337. A.2. of the Code of Virginia as the "prime contractor"), whether such contractor had a direct contract with the Contractor (prime contractor) or whether there were one or more other intervening Subcontractors contractually positioned between it and the Contractor (prime contractor).
- (c) See §2.2-4338 of the Code of Virginia, for alternative forms of security for payment and/or performance bonds.

- (d) For contracts with a value of less than five hundred thousand dollars (\$500,000), the Contractor will not be required to provide a Standard Performance Bond and a Standard Labor and Material Payment Bond as described above **unless** the Request for Proposal states that such bonds will be required.

## **9. SUBCONTRACTS**

- (a) The Contractor shall, as soon as practicable after the signing of the Contract, notify the Owner in writing of the names of all Subcontractors proposed for the principal parts of the Work and of such others as the Owner may direct. Where the specifications establish qualifications or criteria for Subcontractors, manufacturers, or individuals performing Work on the Project, the Contractor shall be responsible for ascertaining that those proposed meet the criteria or qualifications. The Contractor shall not employ any Subcontractor that the Owner may, within a reasonable time, object by written notice to Contractor to as unsuitable. The Owner shall not direct the Contractor to contract with any particular Subcontractor unless provided in the specifications or Request for Proposals.
- (b) The Owner may select a particular Subcontractor for a certain part of the Work and designate on the Request for Proposal that the Subcontractor shall be used for the part of the Work indicated and that the Subcontractor has agreed to perform the Work for the subcontract amount stipulated on the proposal form. The Contractor shall include the stipulated amount plus his Contractor markups in the proposal. In such case, the Contractor shall be responsible for that Subcontractor and its work and the Subcontractor shall be responsible to the Contractor for its work just as if the Contractor had selected the Subcontractor. If the Contractor has a reasonable objection to the Subcontractor being assigned, then the Contractor shall note the exception in his bid or proposal and the reason for the exception and maintain appropriate provisions for coordinating the work of the Subcontractor. The Owner, at its sole discretion, may accept the Contractor's bid or proposal with the exception noted and contract separately with the Subcontractor under the provisions Section 10 of the contract or assign a different Subcontractor.
- (c) The Owner shall, on request, furnish to any Subcontractor, if practicable, the amounts of payments made to the Contractor, the Schedule of Values and Requests for Payment submitted by the Contractor and any other documentation submitted by the Contractor which would tend to show what amounts are due and payable by the Contractor to the Subcontractor.
- (d) The Contractor shall be fully responsible to the Owner for all acts and omissions of his agents and employees and all succeeding tiers of Subcontractors and Suppliers performing or furnishing any of the Work. Nothing in the Contract Documents shall create any contractual relationship between Owner and any such Subcontractor, Supplier or other person or organization, nor shall it create any obligation on the part of Owner to pay for or to see to the payment of any moneys due any such Subcontractor, Supplier or other person or organization, except as may otherwise be required by law.
- (e) The Contractor shall be fully responsible for his invitees at the Site and for those of his Subcontractors, Suppliers, and their employees, including any acts or omissions of such invitees.
- (f) The Contractor agrees that he alone is responsible for all dealings with his Subcontractors and Suppliers, and their subcontractors, employees and invitees, including, but not limited to, the Subcontractors' or Suppliers' claims, demands, actions, disputes and similar matters unless specifically provided otherwise by the Contract or by statute.

**10. SEPARATE CONTRACTS**

- (a) The Owner reserves the right to let other contracts in connection with the Project, the Work under which may proceed simultaneously with the execution of this Contract. The Contractor shall afford other separate contractors reasonable opportunity for the introduction and storage of their materials and the execution of their work. The Contractor shall cooperate with them and shall take all reasonable action to coordinate his Work with theirs. If the Owner has listed other separate contracts in the Requests for Proposals which it expects to proceed simultaneously with the Work of the Contractor, and has included the estimated timing of such other Contracts in the Requests for Proposals, the Contractor shall integrate the schedule of those separate contracts into his scheduling. The Contractor shall make every reasonable effort to assist the Owner in maintaining the schedule for all separate contracts. If the work performed by the separate contractor is defective or performed so as to prevent or threaten to prevent the Contractor from carrying out his Work according to the Contract, the Contractor shall immediately notify the Owner upon discovering such conditions.
- (b) If a dispute arises between the Contractor and any separate contractor(s) as to their responsibility for cleaning up as required by Sections 31 (c) and 31 (d) of these General Conditions, the Owner may clean up and charge the cost thereof to the respective contractors in proportion to their responsibility. If a Contractor disputes the Owner's apportionment of clean-up costs, it shall be that contractor's burden to demonstrate and prove the correct apportionment.

**11. CONTRACTOR'S AND SUBCONTRACTOR'S INSURANCE**

- (a) The Contractor shall not commence Work under this Contract until he has obtained all the insurance required hereunder from an insurer authorized to do business in Virginia and such insurance has been approved by the Owner; nor shall the Contractor allow any Subcontractor to commence Work on his subcontract until the same types of insurance in an appropriate amount have been obtained by the Subcontractor and approved by the Contractor. Approval of insurance by the Owner shall not relieve or decrease the liability of the Contractor hereunder.
- (b) The Contractor shall take out and shall maintain in force at all times during the performance of the Work Workers' Compensation and Employers' Liability Insurance for all of his employees engaged in the Work in an amount not less than the minimum required by § 2.2-4332 and § 65.2-100 et seq. of the Code of Virginia, and, in case any of the Work is sublet, the Contractor shall require each Subcontractor similarly to provide Workers' Compensation and Employers' Liability Insurance for all of the latter's employees to be engaged in the Work. Prior to award of the Contract, the Contractor shall submit, on the form provided by the Owner, a Certificate of Coverage verifying Workers' Compensation coverage. The Contractor shall likewise obtain a Certificate of Coverage for Workers' Compensation coverage from each subcontractor prior to awarding the subcontract and shall provide a copy to the Owner.
- (c) During the performance of the Work under this Contract, the Contractor shall maintain commercial general liability insurance to include Premises / Operations Liability, Products and Completed Operations Coverage, Independent Contractor's Liability, Owner's and Contractor's Protective Liability, and Personal Injury Liability, which shall insure him against claims of personal injury, including death, as well as against claims for property damage, which may arise from operations under this Contract, whether such operations be by himself or by any Subcontractor, or by anyone directly or indirectly employed by either of them. The amounts of general liability insurance shall be not less than **\$1,000,000** per occurrence and **\$2,000,000** aggregate combined limit. The Commonwealth of Virginia, its officers, employees and agents, shall be named as an additional insured with respect to the Work being procured. The Supplemental General Conditions may require the Contractor to provide an Umbrella insurance policy in a specified amount for the Project.
- (d) During the performance of the Work under this Contract, the Contractor shall maintain automobile liability insurance which shall insure him against claims of personal injury, including death, as well

as against claims for property damage, which may arise from operations under this Contract, whether such operations be by himself or by any Subcontractor, or by anyone directly or indirectly employed by either of them. The amounts of automobile insurance shall be not less than \$1,000,000 combined limit for bodily injury and property damage per occurrence.

- (e) The Contractor's Architect/Engineer responsible for the design portion of the Work shall obtain and maintain in force during the contract period and for a period of 5 years after the final completion of the Work professional liability and errors and omission insurance in the amount of \$2,000,000 per claim occurrence and \$6,000,000 aggregate combined claims limit.
- (f) The Asbestos Contractor or Subcontractor, as the case may be, shall provide occurrence-based liability insurance with asbestos coverages in an amount not less than \$1,000,000 and shall name the following as additional insureds: The Commonwealth of Virginia, its officers, its employees and its agents; the Architect/Engineer (if not the Asbestos Project Designer); and the Contractor (where the asbestos work is being performed by the Asbestos Subcontractor).

**12. "ALL RISK" BUILDER'S RISK INSURANCE**

- (a) The Contractor, at his cost, shall obtain and maintain in the names of the Owner and the Contractor "all-risk" builder's risk insurance (or fire, extended coverage, vandalism and malicious mischief insurance, if approved by the Owner and the Director, Division of Engineering and Buildings) upon the entire structure or structures on which the Work of this Contract is to be done and upon all material in or adjacent thereto which is intended for use thereon, to one hundred percent (100%) of the insurable value thereof. Such insurance may include a deductible provision if the Owner so provides in the Supplemental General Conditions, in which case the Contractor will be liable for such deductions, whenever a claim arises. The loss, if any, is to be made adjustable with and payable to the Owner, in accordance with its interests, as they may appear. The Owner, its officers, employees and its agents, shall be named as an additional insured in any policy of insurance issued. Written evidence of the insurance shall be filed with the Owner no later than thirty (30) days following the award of the Contract. In the event of cancellation of this insurance, not less than thirty (30) days prior written notice must be sent to the Owner. A copy of the policy of insurance shall be given to the Owner upon demand.
- (b) The value of the builder's risk insurance shall exclude the costs of excavations, backfills, foundations, underground utilities and Sitework.
- (c) The Owner maintains insurance coverage on its buildings. On re-roofing, renovation, and interior modifications of existing building projects where the Owner continues to occupy the building, or a portion thereof, while the Work is being performed, the Contractor shall provide "all risk" builders risk insurance, as described above, in an amount equal to one hundred percent (100%) of the Contract Price for the Work. In those instances, the Supplemental General Conditions for the project shall expressly exclude the project from the requirements of Subsection 12(a). The Contractor is responsible for providing any desired coverage for Contractor's or Subcontractors' buildings, equipment, materials, tools or supplies that are on-site.
- (d) Any insurance provided through the Department of Treasury, Division of Risk Management, on buildings, construction, additions or renovations will not extend to Contractor's nor Subcontractors' buildings, equipment, materials, tools or supplies unless these items are to become property of the Owner upon completion of the Project and the Owner has assumed responsibility for such items at the time of the loss.

**13. TAXES, FEES AND ASSESSMENTS**

The Contractor shall, without additional expense to the Owner, pay all applicable federal, state, and local taxes, fees, and assessments except the taxes, fees and assessments on the real property comprising the Site of the project. If the State Building Official elects to have the local building official inspect the Work as provided by § 36-98.1 of the Code of Virginia, the Owner shall pay the resulting fees to the local building official.

**14. PATENTS**

The Contractor shall obtain all licenses necessary to use any invention, article, appliance, process or technique of whatever kind and shall pay all royalties and license fees. The Contractor shall hold the Owner, its officers, agents and employees, harmless against any loss or liability for or on account of the infringement of any patent rights in connection with any invention, process, technique, article or appliance manufactured or used in the performance of the Contract, including its use by the Owner, unless such invention, process, technique, article or appliance is specifically named in the specifications or plans as acceptable for use in carrying out the Work. If, before using any invention, process, technique, article or appliance specifically named in the specifications or plans as acceptable for use in carrying out the Work, the Contractor has or acquires information that the same is covered by letters of patent making it necessary to secure the permission of the patentee, or other, for the use of the same, he shall promptly advise the Owner. The Owner may direct that some other invention, process, technique, article or appliance be used. Should the Contractor have reason to believe that the invention, process, technique, article or appliance so specified is an infringement of a patent, and fail to inform the Owner, he shall be responsible for any loss or liability due to the infringement.

**15. ARCHITECT/ENGINEER'S STATUS**

- (a) The Design Build Contractor's Architect / Engineer shall be duly and properly licensed by the Virginia Department of Professional and Occupational Regulation to provide these services in Virginia. The Architect / Engineer shall provide the professional services to design the Work in conformance with the applicable standards indicated below.
- (b) The Architect/Engineer shall have authority to endeavor to secure the faithful performance by Owner and Design Build Contractor of the Work under the Contract. He shall review the Contractor's Submittals for conformance to the requirements of the Contract Documents and return copies to the Contractor with appropriate notations. He shall interpret the requirements of the plans and specifications and issue Field Orders to the Contractor as may be required. He shall recommend to the Owner suspension of the Work (in whole or in part) whenever such suspension may be necessary to ensure the proper execution of the Contract. He shall have authority to reject, in writing, Work, including material, installation or workmanship, which does not conform to the requirements of the plans and specifications. He shall determine the progress and quality of the Work, subject to the right of the Owner to make an overriding decision to the contrary. Upon request by the Contractor, the Architect/Engineer shall confirm, in writing within fourteen (14) days, any oral order or determination made by him.
- (c) The Virginia Department of Transportation "Road & Bridge Specifications", 2002 edition or later, and Virginia Department of Transportation "Road Design Standards", 2001 edition or later, are included by reference and shall be used by the Contractor's A/E as the referenced standards for design of the roads, parking areas, sidewalks, curbs, and other sitework.
- (d) The building design shall conform to the requirements of the Virginia Uniform Statewide Building Code. The current edition of the Virginia Uniform Statewide Building Code which is in effect at the time the construction documents are submitted to the Building Official for Building Permit shall be the applicable Building Code for that phase of the project.
- (e) The Commonwealth of Virginia "Construction and Professional Services Manual – 2004 Edition including any revisions to the Manual which may be issued (CPSM or the Manual) is included by

reference and shall be used by the Contractor's A/E as the referenced standards for design of the buildings. See these General Conditions, Section 2.(e)

- (f) The Architect/Engineer shall have no authority to approve or order changes in the Work which alter the approved plans and specifications which were the basis of the Building Permit without obtaining approval of the Building Official.
- (g) The provisions of this section are included as information only to describe the relationship between the Owner, A/E, and Contractor. No failure of the A/E to act in accordance with this section shall relieve the Contractor from his obligations under the Contract or create any rights in favor of the Contractor.

**16. INSPECTION**

- (a) All material and workmanship shall be subject to inspection, examination and testing by the Owner, its Project Inspector, authorized inspectors and authorized independent testing entities at any and all times during manufacture and/or construction. The Owner shall have authority to reject defective material and workmanship and require its correction. Rejected workmanship shall be satisfactorily corrected and rejected material shall be satisfactorily replaced with proper material without charge therefore, and the Contractor shall promptly segregate and remove the rejected material from the Site. If the Contractor fails to proceed at once with replacement of rejected material and/or the correction of defective workmanship, the Owner may, by contract or otherwise, replace such material and/or correct such workmanship and charge the cost to the Contractor, or may terminate the right of the Contractor to proceed as provided in Section 41 of these General Conditions, the Contractor and surety being liable for any damage to the same extent as provided in Section 41 for termination thereunder.
- (b) Site inspections, tests conducted on Site or tests of materials gathered on Site, which the Contract requires to be performed by independent testing entities, shall be contracted and paid for by the Owner. Examples of such tests are the testing of cast-in-place concrete, foundation materials, soil compaction, pile installations, caisson bearings and steel framing connections. The Contractor shall promptly furnish, without additional charge, all reasonable facilities, labor and materials necessary and convenient for making such tests. Except as provided in (d) below, whenever such examination and testing finds defective materials, equipment or workmanship, the Contractor shall reimburse the Owner for the cost of reexamination and retesting. Although conducted by independent testing entities, the Owner will not contract and pay for tests or certifications of materials, manufactured products or assemblies which the Contract, codes, standards, etc., require to be tested and/or certified for compliance with industry standards such as Underwriters Laboratories, Factory Mutual or ASTM. If fees are charged for such tests and certifications, they shall be paid by the Contractor. The Contractor shall also pay for all inspections, tests, and certifications which the Contract specifically requires him to perform or to pay, together with any inspections and tests which he chooses to perform for his own purposes, but are not required by the Contract.
- (c) Where Work is related to or dependent on the Defective Work, the Contractor shall stop such related or dependent Work until the Defective Work or deficiency is corrected or an alternative solution is presented that is satisfactory to the Owner. Where Work is rejected because of defective material or workmanship, the Contractor shall stop like Work in other areas or locations on the Project until the matter is resolved and the Owner has approved corrective measures.
- (d) Should it be considered necessary or advisable by Owner at any time before final acceptance of the entire Work to make an examination of any part of the Work already completed, by removing or tearing out portions of the Work, the Contractor shall on request promptly furnish all necessary facilities, labor and material to expose the Work to be tested to the extent required. If such Work is found to be defective in any respect, due to the fault of the Contractor or his Subcontractors, the Contractor shall bear all the expenses of uncovering the Work, of examination and testing, and of satisfactory reconstruction. If, however, such Work is found to meet the requirements of the Contract, the actual cost of the Contractor's labor and material necessarily involved in uncovering the Work, the cost of examination and testing, and Contractor's cost of material and labor necessary

for replacement including a markup of fifteen (15%) percent for overhead and profit shall be paid to the Contractor and he shall, in addition, if completion of the Work has been delayed thereby, be granted suitable extension of time. Notwithstanding the foregoing, the Contractor shall be responsible for all costs and expenses in removing and replacing the Work if the Contractor had covered the Work prior to any inspection or test contrary to the instructions of the A/E, Owner or Project Inspector.

- (e) The Project Inspector has the authority to recommend to the Owner that the Work be suspended when in his judgment the Contract Documents are not being followed. Any such suspension shall be continued only until the matter in question is resolved to the satisfaction of the Owner. The cost of any such Work stoppage shall be borne by the Contractor unless it is later determined that no fault existed in the Contractor's Work.
- (f) The Project Inspector has the right and the authority to:
  - (1) Inspect all construction materials, equipment, and supplies for quality and for compliance with the Contract Documents and/or approved shop drawings and Submittals.
  - (2) Inspect workmanship for compliance with the standards described in the Contract Documents.
  - (3) Observe and report on all tests and inspections performed by the Contractor.
  - (4) Recommend rejection of Work which does not conform to requirements of the Contract Documents.
  - (5) Keep a record of construction activities, tests, inspections, and reports.
  - (6) Attend all joint Site construction meetings and inspections held by the Owner and/or the A/E with the Contractor.
  - (7) Check materials and equipment, together with documentation related thereto, delivered for conformance with approved Submittals and the Contract.
  - (8) Check installations for proper workmanship and conformance with shop drawing and installation instructions.
  - (9) Assist in the review and verification of the CO-12, Schedule of Values & Certificate for Payment, submitted by the Contractor each month.
  - (10) Do all things for or on behalf of the Owner as the Owner may subsequently direct in writing.
- (g) The Project Inspector has no authority to:
  - (1) Authorize deviations from the Contract Documents;
  - (2) Enter into the area of responsibility of the Contractor's superintendent;
  - (3) Issue directions relative to any aspect of construction means, methods, techniques, sequences or procedures, or in regard to safety precautions and programs in connection with the Work;
  - (4) Authorize or suggest that the Owner occupy the Project, in whole or in part; or
  - (5) Issue a certificate for payment.
- (h) The duties of the Project Inspector are for the benefit of the Owner only and not for the Contractor. The Contractor may not rely upon any act, statement, or failure to act on the part of the Project

Inspector, nor shall the failure of the Project Inspector to properly perform his duties in any way excuse Defective Work or otherwise improper performance of the Contract by the Contractor.

**17. SUPERINTENDENCE BY CONTRACTOR**

- (a) The Contractor shall have a competent foreman or superintendent, satisfactory to the Owner, on the Site at all times during the progress of the Work. The superintendent or foreman shall be familiar with and be able to read and understand the plans and specifications, and be capable of communicating orally and in writing with the Owner's inspectors and the Contractor's workers. The Contractor shall be responsible for all construction means, methods, techniques, sequences and procedures, for coordinating all portions of the Work under the Contract except where otherwise specified in the Contract Documents, and for all safety and worker health programs and practices. The Contractor shall notify the Owner, in writing, of any proposed change in superintendent, including the reason therefore, prior to making such change.
- (b) The Contractor shall, at all times, enforce strict discipline and good order among the workers on the Project, and shall not employ on the Work, or contract with, any unfit person, anyone not skilled in the Work assigned to him, or anyone who will not work in harmony with those employed by the Contractor, the Subcontractors, the Owner or the Owner's separate contractors and their subcontractors.
- (c) The Owner may, in writing, require the Contractor to remove from the Site any employee or Subcontractor's employee the Owner deems to be incompetent, careless, not working in harmony with others on the Site, or otherwise objectionable, but the Owner shall have no obligation to do so.

**18. CONSTRUCTION SUPERVISION, METHODS AND PROCEDURES**

- (a) The Contractor shall be solely responsible for supervising and directing the Work competently and efficiently, devoting such attention thereto and applying such skills and expertise as may be necessary to perform the Work in accordance with the Contract. The Contractor shall be solely responsible for the means, methods, techniques, sequences and procedures of construction and for coordinating all portions of the Work under the Contract, except where otherwise specified in the Contract Documents. The Contractor, in performing as the Design Build Contractor, shall also be responsible to the Owner for the design or selection of any specific means, method, technique, sequence or procedure of construction which is indicated in and required by the Contract Documents. The Contractor is solely responsible to the Owner that the finished Work complies with the Contract Documents.

The Contractor shall be solely responsible for health and safety precautions and programs for workers and others in connection with the Work. No inspection by, knowledge on the part of, or acquiescence by the Architect or Engineer, the Project Inspector, the Owner, the Owner's employees and agents, or any other entity whatever shall relieve the Contractor from its sole responsibility for compliance with the requirements of the Contract or its sole responsibility for health and safety programs and precautions.

- (b) The Contractor shall be fully responsible to the Owner for all acts and omissions of all succeeding tiers of A/E's, Subcontractors, and Suppliers performing or furnishing any of the Work just as the Contractor is responsible for the Contractor's own acts and omissions. Nothing in the Contract Documents shall create any contractual relationship between the Owner and any Subcontractor, Supplier or other person or organization, nor shall it create any obligation on the part of the Owner to pay for or see to payment of any moneys due any such Subcontractor, Supplier, or other person or organization except as may otherwise be required by law.



19. SCHEDULE OF THE WORK

- (a) **General:** The Contractor is responsible for the scheduling and sequencing of the Work, for coordinating the Work, for monitoring the progress of the Work, and for taking appropriate action to keep the Work on schedule. The Contractor may attempt to achieve Substantial Completion on or before the Time for Completion or the Contract Completion Date established by the Contract and receive payment in accordance with Section 36 for the Work completed each period. However, the date established by the Contract Documents as the deadline for achieving Substantial Completion must be used in all schedules as the date on which Substantial Completion will be achieved. The time (in days) between the Contractors's planned early completion and the contracted Time for Completion is part of the Project "Total Float" time and will be used as such. Extensions of time pursuant to Sections 38, 39, and 43, damages for delay, and all other matters between the Owner and the Contractor will be determined using the contractually required Substantial Completion date, not an early Substantial Completion date planned by the Contractor.

Within two (2) weeks after the Contractor signs the Contract Between Owner and Contractor, unless otherwise extended by the Owner at the time of the signing, the Contractor shall prepare and submit to the Owner a preliminary bar graph schedule for accomplishing the Work based upon the Time for Completion stated in the Contract. The preliminary schedule shall be in sufficient detail to show the sequencing of the various trades for each floor level, wing or work area. The Owner will notify the Contractor of its acceptance of or objections to the preliminary schedule within fifteen (15) days of receipt by the Owner. A fully complete Project schedule for accomplishing the Work must be submitted in like manner no later than sixty (60) days after the Contract is signed by the Owner.

The Owner's failure to reject or its acceptance of any schedule, graph, chart, recovery schedule, updated schedule, plan of action, etc. shall not constitute a representation or warranty by the Owner, including but not limited to a representation or warranty that the schedule is feasible or practical nor shall any such acceptance or failure to reject relieve the Contractor from sole responsibility for completing the Work within the time allowed.

No progress payments will be payable to the Contractor until after it has submitted a preliminary schedule which is acceptable to the Owner. Neither the second progress payment nor any subsequent payment shall be payable to the Contractor until it has submitted a fully complete Project schedule accepted by the Owner. Nor shall subsequent progress payments be payable to the Contractor unless and until he submits the monthly bar graphs or status reports required by Section 19(d) herein or unless and until he provides any recovery schedule pursuant to Section 19(e) herein.

Failure to provide a satisfactory preliminary or fully complete Project schedule within the time limits stated above shall be a breach of contract for which the Owner may terminate the Contract in the manner provided in Section 41 of these General Conditions.

The fully complete Project schedule for accomplishing the Work shall be of the type set forth in subparagraph (1) or (2) below, as appropriate:

- (1) For Contracts with a price of \$1,500,000 or less, a bar graph schedule will satisfy the above requirement. The schedule shall indicate the estimated starting and completion dates for each major element of the work. See (b) below.
  - (2) For Contracts with a price over \$1,500,000, a Critical Path Method (CPM) schedule shall be utilized to control the planning and scheduling of the Work. The CPM schedule shall be the responsibility of the Contractor and shall be paid for by the Contractor. See (c) below.
- (b) **Bar Graph Schedule:** Where a bar graph schedule is required, it shall be time-scaled in weekly increments, shall indicate the estimated starting and completion dates for each major element of the Work by trade and by area, level, or zone, and shall schedule dates for all salient features, including

but not limited to the placing of orders for materials, submission of shop drawings and other Submittals for approval, approval of shop drawings by Architect/Engineer, the manufacture and delivery of material, the testing and the installation of materials, supplies and equipment, and all Work activities to be performed by the Contractor.

The Contractor shall allow sufficient time in his schedule for his A/E to conduct whatever associated reviews or inspections as may be required under the A/E's contract with the Contractor. Each Work activity will be assigned a time estimate by the Contractor. One day shall be the smallest time unit used.

It is the Contractor's responsibility to submit a schedule that shows Substantial Completion of the Work by the Contract Time for Completion or the Contract Completion Date and any interim deadlines established by the Contract.

- (c) **CPM Schedule:** Where a CPM schedule is required, it shall be in the time-scaled precedence format using the Contractor's logic and time estimates. The CPM schedule shall be drawn or plotted with activities grouped or zoned by Work area or subcontract as opposed to a random (or scattered) format.

The CPM schedule shall be time-scaled on a weekly basis and shall be drawn or plotted at a level of detail and logic which will schedule all salient features of the Work, including not only the actual construction Work for each trade, but also the submission of shop drawings and other Submittals for approval, approval of shop drawings by the Contractor's A/E, placing of orders for materials, the manufacture and delivery of materials, the testing and installation of materials and equipment, and all Work activities to be performed by the Contractor. Failure to include any element of Work required for the performance of this Contract shall not excuse the Contractor from completing all Work required within the Time for Completion, Contract Completion Date and any interim deadlines established by the Contract.

The Contractor shall allow sufficient time in his schedule for his A/E to conduct whatever associated reviews or inspections as may be required. Each Work activity will be assigned a time estimate by the Contractor. One day shall be the smallest time unit used.

It is the Contractor's responsibility to submit a schedule that shows Substantial Completion of the Work by the Contract Time for Completion or the Contract Completion Date and any interim deadlines established by the Contract.

When completed, the CPM schedule shall be submitted to the Owner for review. The CPM schedule will identify and describe each activity, state the duration of each activity, the calendar dates for the early and late start and the early and late finish of each activity, and clearly highlight all activities on the critical path. "Total float" and "free float" shall be indicated for all activities. Float time, whether "free float" or "total float" as defined in Section 1, shall not be considered for the exclusive use or benefit of either the Owner or the Contractor, but must be allocated in the best interest of completing the Work within the Time for Completion or the Contract Completion Date. Extensions to the Time for Completion or the Contract Completion Date, when granted by Change Order, will be granted only when equitable time adjustment exceeds the Total Float in the activity or path of activities affected by the change, provided that the Owner has reasonably provided information necessary to allow for the orderly progression of the Work. On contracts with a price over \$5,000,000, the CPM schedule shall also show what part of the Contract Price (expressed in U.S. dollars) is attributable to each activity on the schedule and shall be in agreement with the schedule of values, the sum of which for all activities shall equal the total Contract Price. The CPM schedule shall have no line-item activities longer than thirty (30) days in duration, and activities shall be included to provide sufficient detail for effectively managing the sequence of the Work. When acceptable to the Owner and Architect/Engineer as to compliance with the requirements of this Section, the schedule shall become the CPM schedule for the Project. Acceptance of the schedule by the Owner does not indicate agreement with nor responsibility for the proposed or actual duration of any activity or logic shown on the accepted schedule.

- (d) **Monthly Project Reports:** The Contractor shall review progress not less than each month, but as often as necessary to properly manage the Project and stay on schedule. The Contractor shall collect and preserve information on Change Orders, including extensions of time. The Contractor shall evaluate this information and update the latest accepted schedule as often as necessary to finish within the Contract Time for Completion or before the Contract Completion Date. The Contractor shall submit to the Owner along with his monthly request for payment a copy of the bar graph schedule annotated to show the current progress. For projects requiring a CPM schedule, the Contractor shall submit a monthly report of the status of all activities. The bar graph schedule or monthly status report submitted with each periodic request for payment shall show the Work completed to date in comparison with the Work scheduled for completion, including but not limited to the dates for the beginning and completion of the placing of orders; the manufacture, testing and installation of materials, supplies and equipment. The form shall be approved by the Owner; however, a bar graph or a CPM schedule marked, colored or annotated to reflect the above will usually satisfy this requirement. If any elements of the Work are behind schedule, regardless of whether they may prevent the Work from being completed on time, the Contractor must indicate in writing in the report what measures he is taking and plans to take to bring each such element back on schedule and to ensure that the Time for Completion or Contract Completion Date is not exceeded.
- (e) **Progress Delay:** Should any of the following conditions exist, the Owner may require the Contractor to prepare, at no extra cost to the Owner, a plan of action and a recovery schedule for completing the Work by the Contract Time for Completion or the Contract Completion Date:
- (1) The Contractor's monthly project report indicates delays that are, in the opinion of the Owner, of sufficient magnitude that the Contractor's ability to complete the Work by the scheduled Time for Completion or the Contract Completion Date is brought into question;
  - (2) The CPM schedule sorted by early finish shows the Contractor to be thirty (30) or more days behind the critical path schedule at any time during construction up to thirty (30) days prior to scheduled Substantial Completion date;
  - (3) The Contractor desires to make changes in the logic (sequencing of Work) or the planned duration of future activities of the CPM schedule which, in the opinion of the Architect/Engineer or the Owner, are of a major nature.

The plan of action and recovery schedule, when required, shall explain and display how the Contractor intends to regain compliance with the current accepted, fully completed, Project CPM schedule, as updated by approved change orders.

The plan of action, when required, shall be submitted to the Owner for review within two (2) business days of the Contractor receiving the Owner's written demand. The recovery schedule, when required, shall be submitted to the Owner within five (5) calendar days of the Contractor's receiving the Owner's written demand.

- (f) **Early Completion of Project:** The Contractor may attempt to achieve Substantial Completion on or before the Time for Completion or the Contract Completion Date. However, such planned early completion shall be for the Contractor's convenience only and shall not create any additional rights of the Contractor or obligations of the Owner under this Contract, nor shall it change the Time for Completion or the Contract Completion Date. The Contractor shall not be required to pay damages to the Owner because of its failure to achieve Substantial Completion by its planned earlier date. Likewise, the Owner shall not pay the Contractor any additional compensation for achieving Substantial Completion early nor will the Owner owe the Contractor any compensation should the Owner, its officers, employees, or agents cause the Contractor not to achieve Substantial Completion earlier than the date required by the Contract Documents.

If the Contractor seeks to change the Time for Completion or the Contract Completion Date to reflect an earlier completion date, he may request or propose such a change. The Owner may, but is not required to, accept such proposal. However, a change in the Time for Completion or the Contract Completion Date shall be accomplished only by Change Order. If the Contractor's proposal to change the Time for Completion or the Contract Completion Date is accepted, a Change Order will be issued stating that all references in the Contract, including these General Conditions, to the Time for Completion or the Contract Completion Date shall thereafter refer to the date as modified, and all rights and obligations, including the Contractor's liability for actual damages, delay damages and/or liquidated damages, shall be determined in relation to the date, as modified.

**20. SCHEDULE OF VALUES AND CERTIFICATE FOR PAYMENT**

- (a) Before submittal of the first partial payment request under the Contract, the Contractor shall prepare for review and approval of the Owner, a schedule of the estimated values listed by trades or by specification sections of the Work, totaling the Contract Price. Where the total project has multiple parts or phases, the Contractor shall prepare appropriate schedules of values to facilitate reviews and justifications for payments.

All requests for payment shall be made in the ASTM Uniformat II structure on the Schedule of Values and Certificate for Payment (Form CO-12) pages 1 and 2. Succeeding pages may be on the Form CO-12 continuation sheets or a computerized spreadsheet which is in the same format and which contains the same information. Where a computerized spreadsheet is used, one copy of the entire Schedule of Values shall be provided to the Owner in an agreed electronic format (e.g. EXCEL) with the initial request for payment.

- (b) If the Contractor requests, or intends to request, payment for materials stored in an approved and secure manner, the Schedule of Values must indicate the amount for labor and the amount for materials, and in a supplement thereto must include an itemized list of materials for that trade or Work section. The material breakdown shall be in sufficient detail to allow verification of the quantities required for the Project, the quantities delivered, the Work completed, and the quantities stored on or off Site.
- (c) The "Value of Work Completed" portion of the Form CO-12 shall be completed, the Contractor's certification completed and signed, and the appropriate substantiating material attached to each Certificate for Payment (CO-12). Such substantiating material includes, but is not limited to, invoices for materials, delivery tickets, time sheets, payroll records, daily job logs/records, and similar materials which, in the opinion of the Owner, are necessary or sufficient to justify payment of the amount requested.
- (d) The labor progress for any task or activity shall be calculated based upon the percentage of Work complete up to fifty percent (50%) of the completion of the task or activity. Thereafter, the evaluation of labor progress will be based upon the effort required to complete that task or activity. The material progress shall be calculated as the invoiced dollar cost of materials used in relationship to the amount estimated as necessary to complete a particular element of Work. When calculating material progress, credit shall be given for installed material as well as that stored on the Site and any material stored off Site which has been certified in accordance with Section 36 of these General Conditions.
- (e) Should Work included in previous Form CO-12 submittals, and for which payment has been made, subsequently be identified, by tests, inspection, or other means, as not acceptable or not conforming to Contract requirements, the "Value of Work Completed" portion of the first Form CO-12 submitted after such identification shall be modified to reduce the "completed" value of that Work by deleting the value of that which has been identified as not acceptable or nonconforming.

**21. ACCESS TO WORK**

The Owner, the Project Manager, the Owner's inspectors and other testing personnel, inspectors from the Department of Labor and Industry, and others authorized by the Owner, shall have access to the Work at all times. The Contractor shall provide proper facilities for access and inspection.

**22. SURVEYS AND LAYOUT**

- (a) The Owner shall furnish the Contractor all necessary documents showing property lines and the location of existing buildings and improvements. The Contractor shall provide competent surveying and engineering services to execute the Work in accordance with the Contract and shall be responsible for the accuracy of these surveying and engineering services.
- (b) The owner shall provide such general reference points and benchmarks on the Site as will enable the Contractor to proceed with the Work will be established in the plans and specifications. If the Contractor finds that any previously established reference points have been lost or destroyed, he shall promptly notify the Owner.
- (c) The Contractor shall protect and preserve the established benchmarks and monuments and shall make no changes in locations without the written approval from the Owner. Any of these which may be lost or destroyed or which require shifting because of necessary changes in grades or locations shall, subject to prior written approval of the Owner, be replaced and accurately located by the Contractor.

**23. PLANS AND SPECIFICATIONS**

- (a) The general character and scope of the Work are illustrated by the plans and the specifications prepared by the Contractor's Architect/Engineer. The level of detail shown on the plans and stipulated in the specifications shall be sufficient to clearly demonstrate to the Building Official that the design conforms to the requirements of the VUSBC and CPSM. The Contractor shall carry out the Work in accordance with the plans and specification and any additional detail drawings and instructions provided by the A/E.
- (b) Measurements or dimensions shown on the drawings for Site features, utilities and structures shall be verified at the Site by the Contractor before commencing the Work. The Contractor shall not scale measurements or dimensions from the drawings. If there are discrepancies, the Architect/Engineer shall be consulted. If new Work is to connect to, match with or be provided in existing Work, the Contractor shall verify the actual existing conditions and necessary dimensions prior to ordering or fabrication.
- (c) **As-Built Drawings:** The Contractor shall maintain at the Site for the Owner one copy of all drawings, specifications, addenda, approved shop or setting drawings, Change Orders and other modifications (collectively referred to herein as "As-Built Drawings") in good order and marked to record all changes as they occur during construction. These shall be available to the Owner, the Project Inspector, the Owner's other inspectors and to the Owner's testing personnel. The drawings shall be neatly and clearly marked in color during construction to record all variations made during construction. The representation of such variations shall include such supplementary notes, symbols, legends, and details as may be necessary to clearly show the as-built construction.
- (d) **Record Drawings:** Upon completion of the Work and prior to the final inspection, the Contractor shall deliver to the Owner one complete set of "As-Built Drawings" in reproducible form.

**24. SUBMITTALS**

- (a) Shop drawings, setting drawings, product data, and samples generated by the Design Build Contractor shall be known as submittals. Three copies of all submittals shall be provided to the Owner when generated.
- (b) Submittals shall be approved by the Design Build Contractor and its licensed professional designer for conformance with the required codes, standards, and provisions of the Contract. Three copies of all approved submittals shall be provided to the Owner. One copy of the "Approved" shop drawings / submittals shall be on file in the construction trailer for use by Inspectors.
- (c) Any submittal material, assembly, or product which deviates from the approved Building Permit Documents shall be submitted to the Building Official for VUSBC and CPSM approval prior to installation.
- (d) The Work shall be in accordance with approved Building Permit Documents as detailed by the approved submittals.

**25. FEES, SERVICES AND FACILITIES**

- (a) The Contractor shall obtain all permits, except the Building Permit, and pay for all fees and charges necessary for temporary access and public right-of-way blockage or use, for temporary connections to utilities and for the use of property (other than the Site) for storage of materials and other purposes unless otherwise specifically stated in the Contract Documents.
- (b) Certain projects such as renovations and interior modifications of existing buildings will usually have water and electric service to the building. In those instances, water and electric power, if required for the Work under the Contract, will be furnished by the Owner subject to reasonable use by the Contractor, only to the extent and capacity of present services. The Contractor shall be responsible for providing required connections, temporary wiring, piping, etc. to these services in a safe manner and in accordance with applicable codes. All temporary wire, pipe, etc. shall be removed before the Substantial Completion inspection. Acceptance by the Contractor of the use of Owner's water and electricity constitutes a release to the Owner of all claims and of all liability to the Contractor for whatever damages which may result from power and water outages or voltage variations.
- (c) The Owner shall pay any connection charges for permanent utility connections directly to the utility Supplier. The Contractor shall coordinate such connections with the utility Supplier.
- (d) It is understood that, except as otherwise specifically stated in the Contract Documents, the Contractor, either directly or through his Subcontractors, shall provide and pay for all material, labor, tools, equipment, water, light, power, telephone and other services or facilities of every nature whatsoever necessary to execute completely and deliver the Work within the Contract Time for Completion or before the Contract Completion Date.
- (f) The Contractor shall provide temporary facilities including Contractor's office space, Owner's Project Inspector office space (if required by the specifications), toilet facilities, and storage space, as required for the operations and the protection of the material and work. Number, sizes and locations shall be subject to approval of the Owner. Sanitary facilities shall be plumbed into an approved waste treatment system or shall be an approved type of chemical toilet and shall be regularly serviced.

**26. EQUALS**

- (a) **Brand names:** Unless otherwise stated in the Request for Proposals, the name of a certain brand, make or manufacturer denotes the characteristics, quality, workmanship, economy of operation and suitability for the intended purpose of the article desired, but does not restrict the Contractor to the specific brand, make, or manufacturer; it is set forth to convey to the Contractor the general style, type, character and quality of the article specified.
- (b) **Equal materials, equipment or assemblies:** Whenever in these Contract Documents, a particular brand, make of material, device or equipment is shown or specified, such brand, make of material, device or equipment shall be regarded merely as a standard. Any other brand, make or manufacturer of a product, assembly or equipment which in the opinion of the Owner is the equal of that specified, considering quality, capabilities, workmanship, configuration, economy of operation, useful life, compatibility with design of the Work, and suitability for the intended purpose, will be accepted unless rejected by the Owner as not being equal.
- (c) **Substitute materials, equipment or assemblies:** The Contractor may propose to substitute a material, product, equipment, or assembly which deviates from the requirements of the approved plans and specifications but which the Contractor deems will perform the same function and have equal capabilities, service life, economy of operations, and suitability for the intended purpose. The proposal must include any cost differentials proposed. If the proposed substitute is acceptable to the Owner, a Change Order will be proposed to the Contractor to accept the substitute and to deduct the proposed cost savings from the Contract Price. The Owner shall have the right to limit or reject substitutions at its sole discretion.
- (d) The Contractor shall be responsible for making all changes in the Work necessary to adapt and accommodate any equal or substitute product which it uses. The necessary changes shall be made at the Contractor's expense.

**27. AVAILABILITY OF MATERIALS**

If a brand name, product, or model number included in the Contract Documents is not available on the present market, alternate equal products or model numbers may be proposed by the Contractor for approval by the Owner. Also submit data to the Building Official for approval of products, materials, and assemblies regulated by the VUSBC.

**28. CONTRACTOR'S TITLE TO MATERIALS**

No materials or supplies for the Work shall be purchased by the Contractor, or by any Subcontractor or Supplier, subject to any security interest, installment or sales contract or any other agreement or lien by which an interest is retained by the seller or is given to a secured party. The Contractor warrants that he has clear and good title to all materials and supplies which he uses in the Work or for which he accepts payment in whole or in part.

**29. STANDARDS FOR MATERIALS INSTALLATION & WORKMANSHIP**

- (a) Unless otherwise specifically provided in the Contract, all equipment, material, and accessories incorporated in the Work are to be new and in first class condition.
- (b) Unless specifically approved by the Owner or required by the Contract, the Contractor shall not incorporate into the Work any materials containing asbestos or any material known by the industry to be hazardous to the health of building construction workers, maintenance workers, or occupants. If the Contractor becomes aware that a material required by the Contract contains asbestos or other hazardous materials, he shall notify the Owner immediately and shall take no further steps to acquire or install any such material without first obtaining Owner approval.

- (c) All workmanship shall be of the highest quality found in the building industry in every respect. All items of Work shall be done by craftsmen or tradesmen skilled in the particular task or activity to which they are assigned. In the acceptance or rejection of Work, no allowance will be made for lack of skill on the part of workmen. Poor or inferior workmanship (as determined by the Architect/Engineer, the Owner or other inspecting authorities) shall be removed and replaced at Contractor's expense such that the Work conforms to the highest quality standards of the trades concerned, or otherwise corrected to the satisfaction of the Owner, or other inspecting authority, as applicable.
- (d) Under the various sections of the plans or specifications, where specified items are supplied with the manufacturer's printed instructions, recommendations, or directions for installation, or where such instructions, recommendations, or directions are available, installation of the specified items shall be in strict accordance with the manufacturer's printed instructions.
- (e) Under the various sections of the plans or specifications, where reference is made to specific codes or standards governing the installation of specified items, installation shall in all cases be in strict accordance with the referenced codes and standards. Where no reference is made to specific codes or standards, installation shall conform to the generally recognized applicable standards for first-class installation of the specific item to be installed. Contractors are expected to be proficient and skilled in their respective trades and knowledgeable of the Codes and Standards of the National Fire Protection Association (NFPA), National Electric Code (NEC), Occupational Safety and Health Act (OSHA) and other codes and standards applicable to installations and associated work by his trade.
- (f) Where the manufacturer's printed instructions are not available for installation of specific items, where specific codes or standards are not referenced to govern the installation or specific items, or where there is uncertainty on the part of the Contractor concerning the installation procedures to be followed or the quality of workmanship to be maintained in the installation of specific items, the Contractor shall consult the Architect/Engineer for approval of the installation procedures or the specific standards governing the quality of workmanship the Contractor proposes to follow or maintain during the installation of the items in question.
- (g) During and/or at the completion of installation of any items, the tests designated in the plans or specifications necessary to assure proper and satisfactory functioning for its intended purpose shall be performed by the Contractor or by its Subcontractor responsible for the completed installation. All costs for such testing are to be included in the Contract Price. If required by the Contract Documents, the Contractor shall furnish prior to final inspection the manufacturers' certificates evidencing that products meet or exceed applicable performance, warranty and other requirements, and certificates that products have been properly installed and tested.

**30. WARRANTY OF MATERIALS AND WORKMANSHIP**

- (a) The Contractor warrants that, unless otherwise specified, all materials and equipment incorporated in the Work under the Contract shall be new, in first class condition, and in accordance with the Contract Documents. The Contractor further warrants that all workmanship shall be of the highest quality and in accordance with the Contract Documents and shall be performed by persons qualified at their respective trades.
- (b) Work not conforming to these warranties shall be considered defective.
- (c) This warranty of materials and workmanship is separate and independent from and in addition to any of the Contractor's other guarantees or obligations in the Contract or under Virginia law.



**31. USE OF SITE AND REMOVAL OF DEBRIS**

- (a) The Contractor shall:
- (1) Perform the Work in such a manner as not to interrupt or interfere with the operation of any existing activity on, or in proximity to, the Site or with the Work of any other separate contractor;
  - (2) Store his apparatus, materials, supplies and equipment in such orderly fashion at the Site of the Work as will not unduly interfere with the progress of his Work or the work of any other separate contractor; and
  - (3) Place upon the Work or any part thereof only such loads as are consistent with the safety of that portion of the Work.
- (b) The Contractor expressly undertakes, either directly or through his Subcontractor(s), to effect all cutting, filling or patching of the Work required to make the same conform to the plans and specifications, and, except with the consent of the Owner, not to cut or otherwise alter the Work of any other separate contractor. The Contractor shall not damage or endanger any portion of the Work or Site, including existing improvements, unless called for by the Contract.
- (c) The Contractor expressly undertakes, either directly or through his Subcontractor(s), to clean up frequently all refuse, rubbish, scrap materials and debris caused by his operations, to the end that at all times the Site shall present a neat, orderly and workmanlike appearance. No such refuse, rubbish, scrap material and debris shall be left within the completed Work nor buried on the building Site, but shall be removed from the Site and properly disposed of in a licensed landfill or otherwise as required by law.
- (d) The Contractor expressly undertakes, either directly or through his Subcontractor(s), before Final Payment or such prior time as the Owner may require, to remove all surplus material, false Work, temporary structures, including foundations thereof, plants of any description and debris of every nature resulting from his operations and to put the Site in a neat, orderly condition; to thoroughly clean and leave reasonably dust free all finished surfaces including all equipment, piping, etc., on the interior of all buildings included in the Contract; and to clean thoroughly all glass installed under the Contract, including the removal of all paint and mortar splatters and other defacements.
- If the Contractor fails to clean up at the time required herein, the Owner may do so and charge the costs incurred thereby to the Contractor in accordance with Section 10 (b) of these General Conditions.
- (e) The Contractor shall have, On-Site, an employee certified by the Department of Conservation and Recreation as a Responsible Land Disturber who shall be responsible for the installation, inspection and maintenance of erosion control and stormwater management measures and devices. The Contractor shall prevent Site soil erosion, the runoff of silt and/or debris carrying water from the Site, and the blowing of debris off the Site in accordance with the applicable requirements and standards of the Contract and the Virginia Department of Conservation and Recreation's Erosion and Sediment Control Regulations and the Virginia Stormwater Management Regulations.

**32. TEMPORARY ROADS**

Temporary roads, if required, shall be established and maintained until permanent roads are accepted, then removed and the area restored to the conditions required by the Contract Documents. Crushed rock, paving and other road materials from temporary roads shall not be left on the Site unless permission is received from the Owner to bury the same at a location and depth approved by the Owner.

**33. SIGNS**

The Contractor may, at his option and without cost to the Owner, erect signs acceptable to the Owner on the Site for the purpose of identifying and giving directions to the job. No signs shall be erected without prior approval of the Owner as to design and location.

**34. PROTECTION OF PERSONS AND PROPERTY**

- (a) The Contractor expressly undertakes, both directly and through his Subcontractors, to take every reasonable precaution at all times for the protection of all persons and property which may come on the Site or be affected by the Contractor's Work.
- (b) The Contractor shall be solely responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the Work. Any violation of these requirements or duties or any potential safety hazard that is brought to the attention of the Contractor by the Architect/Engineer, the Owner, or any other persons shall be immediately abated.
- (c) The provisions of all rules and regulations governing health and safety as adopted by the Safety Codes Commission of the Commonwealth of Virginia, issued by the Department of Labor and Industry under Title 40.1 of the Code of Virginia, shall apply to all Work under this Contract.
- (d) The Contractor shall continuously maintain adequate protection of all his Work from damage and shall protect the Owner's property from injury or loss arising in connection with this Contract. He shall make good any such damage, injury or loss, except as may be directly and solely due to errors in the Contract Documents or caused by agents or employees of the Owner. The Contractor shall adequately protect adjacent property to prevent any damage to it or loss of use and enjoyment by its owners. The Contractor shall provide and maintain all passageways, guard fences, lights and other facilities for protection as required by public authority, local conditions, or the Contract.
- (e) In an emergency affecting the health, safety or life of persons or of the Work, or of the adjoining property, the Contractor, without special instruction or authorization from the Owner, shall act, at his discretion, to prevent such threatened loss or injury. Also, should he, to prevent threatened loss or injury, be instructed or authorized to act by the Owner, he shall so act immediately, without appeal. Any additional compensation or extension of time claimed by the Contractor on account of any emergency work shall be determined as provided by Section 38 of these General Conditions.
- (f) When necessary for the proper protection of the Work, temporary heating of a type compatible with the Work must be provided by the Contractor at the Contractor's expense, unless otherwise specified.

**35. CLIMATIC CONDITIONS**

The Contractor shall suspend activity on and protect any portion of the Work that may be subject to damage by climatic conditions.

**36. PAYMENTS TO CONTRACTOR**

- (a) Unless otherwise provided in the Contract, the Owner will make partial payments to the Contractor on the basis of a duly certified and approved Schedule of Values and Certificate for Payment, Form CO-12, showing the estimate of the Work performed during the preceding calendar month or work period. When evaluating the Contractor's Form CO-12, the Owner will consider the value of the Work in place, the value of approved and properly stored materials, the status of the Work on the critical path with regard to the Time for Completion, and the estimated value of the Work necessary to achieve Final Completion. The Owner will schedule a monthly pay meeting to occur no earlier than the 25th day of the month represented by the payment request or not later than the 5th day of the following month. The Contractor will submit his monthly estimate of Work completed on Form

CO-12 in accordance with the Contract between the Owner and Contractor so that it is received by the Owner's Project Manager at least one work day prior to the date scheduled for the monthly pay meeting. The Owner will review the estimate with the Contractor at the monthly pay meeting, which shall be considered the receipt date, and may approve any or all of the estimate of Work for payment. In preparing estimates, the material delivered to the Site and preparatory Work done shall be taken into consideration, if properly documented as required by Section 20 of these General Conditions, or as may be required by the Owner so that quantities may be verified. In addition to material delivered to the Site, material such as large pieces of equipment and items purchased specifically for the Project, but stored off the Site within the Commonwealth of Virginia, may be considered for payment, provided all of the following are accomplished prior to the submission of the monthly payment request in which payment for such materials is requested:

- (1) The Contractor must notify the Owner in writing, at least ten (10) days prior to the submission of the payment request that specific items will be stored off Site in a designated, secured place within the Commonwealth of Virginia. The Schedule of Values must be detailed to indicate separately both the value of the material and the labor/installation for trades requesting payment for stored materials. By giving such notification and by requesting payment for material stored off Site, the Contractor warrants that the storage location is safe and suitable for the type of material stored and that the materials are identified as being the property of the Contractor, and agrees that loss of materials stored off the Site shall not relieve the Contractor of the obligation to timely furnish these types and quantities of materials for the Project and meet the Time for Completion or Contract Completion Date, subject to Section 43 (b) of these General Conditions. If the storage location is more than 20 miles from the Site, the Contractor may be required to reimburse the Owner for the cost incurred for travel to the storage location to verify the Contractor's request for payment for materials stored off Site.
- (2) Such notification, as well as the payment request, shall:
  - (a) itemize the quantity of such materials and document with invoices showing the cost of said materials;
  - (b) indicate the identification markings used on the materials, which shall clearly reference the materials to the particular project;
  - (c) identify the specific location of the materials, which must be within reasonable proximity to the Site and within the Commonwealth of Virginia;
  - (d) include a letter from the Contractor's Surety which confirms that the Surety on the Performance Bond and the Labor and Material Payment Bond has been notified of the request for payment of materials stored off the Site and agrees that the materials are covered by the bond; and
  - (e) include a certificate of all-risk builder's risk insurance in an amount not less than the fair market value of the materials, which shall name the Owner and the Contractor as co-insureds.
- (3) The Contractor's Architect/Engineer shall indicate, in writing, to the Owner that Submittals for such materials have been reviewed and meet the requirements of the Contract Documents, that the stored materials meet the requirement of the plans and specifications, and that such materials conform to the approved Submittals. Should the A/E deem it necessary to visit the storage site to make such review, the Contractor shall bear the costs incurred therewith.
- (4) The Owner shall notify the Contractor in writing of its agreement to prepayment for materials.

- (5) The Contractor shall notify the Owner in writing when the materials are to be transferred to the Site and when the materials are received at the Site.
- (b) Payment will not be made for materials or equipment stored on or off the Site which are not scheduled for incorporation into the Work within the six months next following submission of the request for payment, unless the Contractor has the prior consent of the Owner, which consent may be granted or withheld by the Owner in its discretion if, in the opinion of the Owner, it is not necessary to procure the materials more than six months in advance of use to assure their availability when needed.
- (c) No payment shall be made to the Contractor until
  - (1) The Contractor furnishes to the Owner its Social Security Number (SSN) if an individual, or its Federal Employer Identification Number (FEIN) if a proprietorship, partnership, corporation or other legal entity.
  - (2) Certificates of Insurance or other satisfactory evidence of compliance by the Contractor with all the requirements of Section 11 (and Section 12 if applicable) of these General Conditions have been delivered to the Owner.
  - (3) Copies of any certificates of insurance required of a Subcontractor under Section 11 have been delivered to the Owner for payments based on Work performed by a Subcontractor
  - (4) The Contractor has (i) submitted a preliminary schedule which is acceptable to the Owner in accordance with Section 19(a), (ii) submitted a fully complete Project schedule accepted by the Owner in accordance with Section 19(a), (iii) maintained the monthly bar graphs or status reports required by Section 19(d), or (iv) provided a recovery schedule pursuant to Section 19(e), as each of them may be required.
- (d) In making such partial payments, five percent (5%) of each payment to the Contractor shall be retained until Final Completion and acceptance of all Work covered by the Contract, unless otherwise provided by any law, regulation or program of the federal government. Such retainage shall be held to assure faithful performance of the Contract and may also be used as a fund to deduct amounts due to or claimed by the Owner, including, but not limited to, payment to the Owner of all moneys due for deductive change orders, credits, uncorrected Defective Work, interest, damages, and the like. (§2.2-4333 of the Code of Virginia) The Owner may, at its sole discretion, agree on an item by item basis to release the retainage on items which are fully 100% complete, and which have accepted by the Owner as being tested and complete, and on which no further action or work will be required. Retainage which is released by the Owner shall be distributed by the Contractor in conformance with Section 37 of these General Conditions.
- (e) All material and Work for which partial payments are made shall thereupon become the sole property of the Owner, but this provision shall not relieve the Contractor from the sole responsibility for all materials and Work, including those for which payment has been made, or for the restoration of any damaged materials or Work. Nor shall this provision serve as a waiver of the right of the Owner to require the fulfillment of all of the terms and conditions of the Contract.
- (f) The Final Payment, which shall include the retainage, less any amounts due to or claimed by the Owner, shall not become due until the Owner agrees that Final Completion has been achieved and until the Contractor shall deliver to the Owner a Certificate of Completion by the Contractor (Form CO-13.2) and an Affidavit of Payment of Claims (Form CO-13), stating that all Subcontractors and Suppliers of either labor or materials have been paid all sums claimed by them for Work performed or materials furnished in connection with this Project less retainage. Amounts due the Owner which may be withheld from the Final Payment may include, but are not limited to, amounts due pursuant to Section 3(i), Section 16(a)-(d), Section 31(d), costs incurred to repair or replace Defective Work, costs incurred as a result of the Contractor's negligent acts or omissions or omissions of those for

whom the Contractor is responsible, delay damages under Section 43(h), and any liquidated or actual damages. If all Subcontractors and Suppliers of labor and materials have not been paid the full amount claimed by them, the Contractor shall list each to which an agreed amount of money is due or which has a claim in dispute. With respect to all such Subcontractors and Suppliers, the Contractor shall provide to the Owner, along with the Affidavit of Payment of Claims (Form CO-13), an affidavit from each such Subcontractor and Supplier stating the amount of their subcontract or supply contract, the percentage of completion, the amounts paid to them by the Contractor and the dates of payment, the amount of money still due if any, any interest due the Subcontractor or Supplier pursuant to Section 37(b) below, and whether satisfactory arrangements have been made for the payment of said amounts. If no agreement can be reached between the Contractor and one or more Subcontractors or Suppliers as to the amounts owed to the Subcontractors or Suppliers, the Owner may, in its discretion, pay such portion of the moneys due to the Contractor which is claimed by the Subcontractor or Supplier into a Virginia Court or Federal Court sitting in Virginia, in the manner provided by law. Said payment into court shall be deemed a payment to the Contractor. Nothing in this Section shall be construed as creating any obligation or contractual relationship between the Owner and any Subcontractor or Supplier, and the Owner shall not be liable to any Subcontractor or Supplier on account of any failure or delay of the Owner in complying with the terms hereof.

- (g) Upon successful completion of the final inspection and all Work required by the Contract, including but not limited to the delivery of As-Built reproducible Record Drawings, equipment manuals, written warranties, acceptance of the Work by the Owner and the delivery of the affidavits required in Section 36(f) of these General Conditions, the Contractor shall deliver the written Certificate of Completion by the Contractor (Form CO-13.2) to the Owner stating the entire amount of Work performed and compensation earned by the Contractor, including extra work and compensation therefore. The Owner may accept the Work for occupancy or use while asserting claims against the Contractor; disputing the amount of compensation due to the Contractor; disputing the quality of the Work, its completion, or its compliance with the Contract Documents; or any other reason.
- (h) Unless there is a dispute about the compensation due to the Contractor, Defective Work, quality of the Work, compliance with the Contract Documents, completion itself, claims by the Owner, other matters in contention between the parties, or unless monies are withheld pursuant to the Comptroller's Debt Setoff Program, within thirty (30) days after receipt and acceptance of the Schedule of Values and Certificate for Payment (Form CO-12) in proper form by the Architect/Engineer at the monthly pay meeting, which shall be considered the receipt date, the Owner shall pay to the Contractor the amount approved less all prior payments and advances whatsoever to or for the account of the Contractor. In the case of final payment, the completed Affidavit of Payment of Claims (Form CO-13) and the Certificate of Completion by the Contractor (Form CO-13.2) shall accompany the final Schedule of Values and Certificate for Payment (Form CO-12) which is forwarded to the Owner for payment. The date on which payment is due shall be referred to as the Payment Date. In the event of disputes, payment shall be mailed on or before the Payment Date for amounts and Work not in dispute, subject to any set offs claimed by the Owner; provided, however in instances where further appropriations are required by the General Assembly or where the issuance of further bonds is required, in which case, payment shall be made within thirty (30) days after the effective date of such appropriation or within thirty (30) days after the receipt of bond proceeds by the Owner. All prior estimates and payments including those relating to extra Work may be corrected and adjusted in any payment and shall be corrected and adjusted in the Final Payment. In the event that any request for payment (CO-12) by the Contractor contains a defect or impropriety, the Owner shall notify the Contractor of any defect or impropriety which would prevent payment by the Payment Date, within five (5) days after receipt of the Schedule of Values and Certificate for Payment (Form CO-12) by the Owner.
- (i) Interest shall accrue on all amounts owed by the Owner to the Contractor which remain unpaid seven (7) days following the Payment Date. Said interest shall accrue at the discounted ninety-day U.S. Treasury bill rate as established by the Weekly Auction and as reported in the publication entitled The Wall Street Journal on the weekday following each such Weekly Auction. During the period of time when the amounts due to the Contractor remain unpaid following the seventh (7) day

after the Payment Date, the interest accruing shall fluctuate on a weekly basis and shall be that established by the immediately prior Weekly Auction. It shall be the responsibility of the Contractor to gather and substantiate the applicable weekly interest rates to the satisfaction of the Owner and to calculate to the satisfaction of the Owner the interest due. In no event shall the rate of interest charge exceed the rate of interest charged pursuant to §58.1-1812 of the Code of Virginia. No interest shall accrue on retainage or when payment is delayed because of disagreement between the Owner and the Contractor regarding the quantity, quality or timeliness of the Work, including, but not limited to, compliance with Contract Documents or the accuracy of any Request for Payment received. This exception to the accrual of interest stated in the preceding sentence shall apply only to that portion of a delayed payment which is actually the subject of such a disagreement and shall apply only for the duration of such disagreement. Nothing contained herein shall be interpreted, however, to prevent the withholding of retainage to assure faithful performance of the Contract. These same provisions relating to payment of interest to the Contractor shall apply also to the computation and accrual of interest on any amounts due from the Contractor to the Owner for deductive change orders and to amounts due on any claims by the Owner. The date of mailing of any payment by the U.S. Mail is deemed to be the date of payment to the addressee.

- (j) The acceptance by the Contractor of the Final Payment shall be and operate as a release to the Owner of all claims by the Contractor, its Subcontractors and Suppliers, and of all liability to the Contractor whatever, including liability for all things done or furnished in connection with this Work, except for things done or furnished which are the subject of unresolved claims for which the Contractor has filed a timely written notice of intent, provided a claim is submitted no later than sixty (60) days after Final Payment. Acceptance of any interest payment by the Contractor shall be a release of the Owner from claims by the Contractor for late payment.
- (k) No certificate for payment issued, and no payment, final or otherwise, no certificate of completion, nor partial or entire use or occupancy of the Work by the Owner, shall be an acceptance of any Work or materials not in accordance with the Contract, nor shall the same relieve the Contractor of responsibility for faulty materials or Defective Work or operate to release the Contractor or his Surety from any obligation under the Contract, the Standard Performance Bond and the Standard Labor and Material Payment Bond.

**37. PAYMENTS BY CONTRACTOR (§2.24354, Code of Virginia)**

Under §2.24354, Code of Virginia, the Contractor is obligated to:

- (a) Within seven (7) days after receipt of amounts paid to the Contractor by the Owner for Work performed by the Subcontractor or Supplier under this Contract,
  - (1) Pay the Subcontractor or Supplier for the proportionate share of the total payment received from the Owner attributable to the Work performed by the Subcontractor or the materials furnished by the Supplier under this Contract; or
  - (2) Notify the Subcontractor or Supplier, in writing, of his intention to withhold all or a part of the Subcontractor or Supplier's payment with the reason for nonpayment;
- (b) Pay interest to the Subcontractor or Supplier on all amounts owed by the Contractor that remain unpaid after seven (7) days following receipt by the Contractor of payment from the Owner for Work performed by the Subcontractor or materials furnished by the Supplier under this contract, except for amounts withheld as allowed under subsection (a) (2) of this Section.
- (c) Include in each of his subcontracts a provision requiring each Subcontractor to include in each of its subcontracts a provision requiring each subcontractor to include or otherwise be subject to the same payment and interest requirements with respect to each lower tier subcontractor. Each Subcontractor shall include with its invoice to, or request for payment from, the Contractor, a certification that that Subcontractor has paid each of its suppliers and lower tier subcontractors their

proportionate share of previous payments received from the Contractor attributable to the Work performed or the materials furnished by it under this Contract.

The Contractor's obligation to pay interest to the Subcontractor or Supplier pursuant to subsection (b) of this Section is not an obligation of the Owner. A modification to this Contract shall not be made for the purpose of providing reimbursement for such interest charge. A Contractor's cost reimbursement claim shall not include any amount for reimbursement of such interest charge.

**38. CHANGES IN THE WORK**

- (a) The Owner may at any time, by written order utilizing the Commonwealth of Virginia Change Order Form CO-11 and without notice to the sureties, make changes in the Work which are within the general scope of the Contract, except that no change will be made which will increase the total Contract Price to an amount more than twenty percent (20%) in excess of the original Contract Price without notice to sureties. At the time of the Pre-construction Meeting described in Section 50(b), the Contractor and the Owner shall advise each other in writing of their designees authorized to accept and/or approve changes to the Contract Price and of any limits to each designee's authority. Should any designee or limits of authority change during the time this Contract is in effect, the Contractor or Owner with such a charge shall give written notice to the other within seven (7) calendar days, utilizing the procedures set forth in these General Conditions. The Contractor agrees and understands that the authority of the Owner's designee is limited by Virginia Code §2.2-4309 and any other applicable statute.

In making any change, the charge or credit for the change shall be determined by one of the following methods as selected by the Owner:

- (1) **Fixed Price:** By a mutually agreed fixed amount change to the Contract Price and/or time allowed for completion of the Work. The Change Order shall be substantiated by documentation itemizing the estimated quantities and costs of all labor, materials, and equipment required as well as any mark-up used. The price change shall include the Contractor's reasonable overhead and profit, including overhead for any unreasonable delay arising from or related to the Change Order and/or the change in the Work. See Subsections (d),(e), and (f) below.
- (2) **Unit Price:** By using unit prices and calculating the number of net units of Work in each part of the Work which is changed, either as the Work progresses or before Work on the change commences, and by then multiplying the calculated number of units by the applicable unit price set forth in the Contract or multiplying by a mutually agreed unit price if none was provided in the Contract. No additional percentage markup for overhead or profit shall be added to the unit prices.
- (3) **Cost Reimbursement:** By ordering the Contractor to perform the changed Work on a cost reimbursement basis by issuing two Change Orders citing this Subsection, an initiating Change Order, authorizing the changed Work, and a confirming Change Order approving the additional cost and time for the changed Work. The initiating Change Order shall:
  - (i) Describe the scope or parameters of the change in the Work;
  - (ii) Describe the cost items to be itemized and verified for payment and the method of measuring the quantity of work performed;
  - (iii) Address the impact on the schedule for Substantial Completion;
  - (iv) Order the Contractor to proceed with the change to the Work;
  - (v) Order the Contractor to keep in a form acceptable to the Owner, an accurate, itemized account of the actual cost of the change in the Work, including, but not limited to, the actual costs of labor, materials, equipment, and supplies;

- (vi) Order the Contractor to annotate a copy of the Project schedule to accurately show the status of the Work at the time this first Change Order is issued, to show the start and finish dates of the changed Work, and the status of the Work when the changed Work is completed; and
- (vii) State that a confirming Change Order will be issued to incorporate the cost of the ordered changed in the Work into the Contract Price and any change in the Contract Time for Completion or Contract Completion Date.

The Contractor shall sign the initiating Change Order acknowledging he has been ordered to proceed with the change in the Work. The Contractor's signature on each initiating Change Order citing this Subsection 38(a)(3) as the method for determining the cost of the Work shall not constitute the Contractor's agreement on the cost or time impact of the ordered Work.

Except as otherwise may be agreed to in writing by the Owner, such costs shall not exceed those prevailing for the trades or crafts (based upon rates established by the US Department of Labor, Bureau of Statistics, or other generally recognized cost data publication), materials, and equipment in the locality of the Project, may include only those items listed as allowable in Subsection 38(e), and shall not include any of the costs listed as not allowable in Subsection 38(f). The Owner shall be permitted, on a daily basis, to verify such records and may require such additional records as are necessary to determine the cost of the change to the Work.

Within fourteen (14) days after the conclusion of such ordered Work, the Contractor and the Owner shall reach agreement on (i) a cost for the ordered Work, based on the records kept and the Contractor's allowance for overhead and profit determined in accordance with the provisions set forth in Subsections 38(d), (e), and (f) below; and (ii) the change in the Contract Time for Completion or Contract Completion Date, if necessary, as a result of the ordered Work. Such costs and time shall be incorporated into a confirming Change Order which references the initiating Change Order. If agreement on the cost and time of the changed Work cannot be reached within the fourteen (14) days allotted, the Contractor may submit a claim for the disputed cost or time as provided for in Section 47.

- (4) By issuing a unilateral change order in the amount deemed appropriate by the Owner for the Work. If the Contractor objects to the amount or scope of the change order then the Contractor may within the 14 days of the date of the change order file a claim for the disputed amount as provided for in section 47.
- (b) The Contractor shall review any change requested or directed by the Owner and shall respond in writing within fourteen (14) days after receipt of the proposed change (or such other reasonable time as the Owner may direct), stating the effect of the proposed change upon his Work, including any increase or decrease in the time and price. The Contractor shall furnish to the Owner an itemized breakdown of the quantities and prices used in computing the proposed change in Contract Price.

The Owner shall review the Contractor's proposal and respond to the Contractor within thirty (30) days of receipt. If a change to the Contract Price and Time for Completion or Contract Completion Date are agreed upon, both parties shall sign the Change Order. If the Contract Price and Time for Completion or Contract Completion Date are not agreed upon, the Owner may direct the Contractor to proceed under Subsection 38(a)(3) above. Change Orders shall be effective when signed by both parties, unless approval by the Governor or his designee is required, in which event the Change Orders shall be effective when signed by the Governor or his designee.
- (c) In figuring changes, any instructions for measurement of quantities set forth in the Contract shall be followed.



- (d) Overhead and profit for both additive and deductive changes in the Work (other than changes covered by unit prices) shall be paid by applying the specified percentage markups only on the net cost of the changed Work (i.e. difference in cost between original and changed Work excluding overhead and profit). Said percentages for overhead and profit shall reasonably approximate the Contractor's overhead and profit, but shall not exceed the percentages for each category listed below:
- (1) If a Subcontractor does all or part of the changed Work, the Subcontractor's mark-up for overhead and profit on the Work it performs shall be a maximum of fifteen percent (15%). The Contractor's mark-up for overhead and profit on the Subcontractor's price shall be a maximum of ten percent (10%).
  - (2) If the Contractor does all or part of the changed Work, its markup for overhead and profit on the changed Work it performs shall be a maximum of fifteen percent (15%).
  - (3) If a Sub-subcontractor at any tier does all or part of the changed Work, the Sub-subcontractor's markup for overhead and profit on that Work shall be a maximum of fifteen percent (15%). The markup of a sub-subcontractor's Work by the Contractor and all intervening tiers of Subcontractors shall not exceed a total of ten percent (10%).
  - (4) Where Work is deleted from the Contract prior to commencement of that Work without substitution of other similar Work, one hundred percent (100%) of the Contract Price attributable to that Work shall be deducted from the Contract Price. However, in the event that material Submittals have been approved and orders placed for said materials, a lesser amount, but in no case less than eighty percent (80%) of the Contract Price attributable to that Work, shall be deducted from the Contract Price. The credit to the Owner for reduced premiums on labor and material bonds and performance bonds shall in all cases be one hundred percent (100%).
- (e) Allowable costs for changes in the Work may include but are not limited to the following:
- (1) Labor costs for employees directly employed in the change in the Work, including salaries and wages plus the cost of payroll charges and fringe benefits and overtime premiums, if such premiums are explicitly authorized by the Owner.
  - (2) Materials incorporated into the change to the Work, including costs of transportation and storage, if applicable. If applicable, all cash discounts shall accrue to the Contractor, unless the Owner deposits funds with the Contractor to make such payments, and all trade discounts, rebates, refunds, and returns from the sale of surplus materials shall accrue to the Owner.
  - (3) Equipment incorporated in the changed Work or equipment used directly in accomplishing the Work. If rented expressly for accomplishing the change in the Work, the cost shall be the rental rate according to the terms of the rental agreement, which the Owner shall have the right to approve. If owned by the Contractor, the costs shall be a reasonable price based upon the life expectancy of the equipment and the purchase price of the equipment. If applicable, transportation costs may be included.
  - (4) Costs of increases in premiums for the Standard Labor and Material Payment Bond and the Standard Performance Bond, provided coverage for the cost of the change in the Work results in such increased costs. At the Owner's request, the Contractor shall provide proof of his notification to the Surety of the change in the Work and of the Surety's agreement to include such change in its coverage. The cost of the increase in premium shall be an allowable cost but shall not be marked up.
  - (5) Contractor and Subcontractor overhead costs as set forth in Subsection (d) markups above.

- (6) **Agreed Compensation for Overhead for Changes to Time for Completion or Contract Completion Date for Changes to the Work:** If the change in the Work also changes the Time for Completion or the Contract Completion Date by adding days to complete the Work, an itemized accounting of the following direct Site overhead and home office overhead and other indirect overhead expenses set forth in subparagraphs (i) and (ii) below may be considered as allowable costs for compensation in addition to those shown above:
- (i) **Direct Site Overhead Expenses:**
- The Contractor's per diem expenses, as shown by the itemized accounting, for the following allowable direct Site overhead expenses: The Site superintendent's pro-rata salary, temporary Site office trailer, and temporary Site utilities including basic telephone service, electricity, heat, water, and sanitary / toilet facilities for each day added. All other direct expenses are covered by and included in the Subsection 38(d) markups above.
- (ii) **Home Office and Other Indirect Overhead Expenses:**
- A five percent (5%) markup on the above direct Site overhead expenses will be allowed as compensation for the Contractor's home office overhead and all other direct or indirect overhead expenses for days added to the Time for Completion or the Contract Completion Date for a change in the Work. All other overhead and other direct or indirect overhead expenses are covered by and included in this markup and the Subsection (d) markups above.
- (7) Any other costs directly attributable to the change in the Work with the exception of those set forth in Subsection 38(f) below.
- (f) Allowable costs for changes in the Work shall not include the following:
- (1) Costs due to the negligence of the Contractor, any Subcontractor, Supplier, their employees or other persons for whom the Contractor is responsible, including, but not limited to, costs for the correction of Defective Work, for improper disposal of material, for equipment wrongly supplied, for delay in performing the Work, or for delay in obtaining materials or equipment.
- (2) Home office expenses including payroll costs for the Contractor's officers, executives, administrators, accountants, counsel, timekeepers, clerks, and other similar administrative personnel employed by the Contractor, whether at the Site or in the Contractor's principal or branch office for general administration of the Work. These costs are deemed overhead included in the percentage markups allowable in Subsections 38(d) above.
- (3) Home office, and field office expenses not itemized in Subsection 38(e)(6) above. Such items include, but are not limited to, expenses of Contractor's home and branch offices, Contractor's capital expenses, interest on Contractor's capital used for the Work, charges for delinquent payments, small tools, incidental job costs, rent, utilities, telephone and office equipment, and other general overhead expenses.
- (4) Other items reasonably determined by the Owner to not be allowed.
- (g) All Change Orders, except the "initial" Change Orders authorizing work citing Subsection 38(a)(3) procedures, must state that the Contract Time for Completion or Contract Completion Date is not changed or is either increased or decreased by a specific number of days. The old Time for Completion and, if changed, the new Time for Completion must be stated.

If the Contractor requests an extension to the Time for Completion or a later Contract Completion Date, he must provide written justification for the extension to the Architect/Engineer and to the Owner. The written justification must demonstrate an anticipated actual increase in the time required to complete the Work beyond that allowed by the Contract as adjusted by prior change orders or amendments to the Contract, not just an increase or decrease in the time needed to complete some portion of the total Work. When a CPM schedule is required by the Contract, no extension to the Time for Completion or Contract Completion Date shall be allowed unless, and then only to the extent that, the additional or changed Work increases the length of the critical path beyond the Time for Completion or Contract Completion Date. If approved, the increase in time required to complete the Work shall be added to the Time for Completion or Contract Completion Date.

The Owner may decrease, by Change Order, the Time for Completion or Contract Completion Date when an Owner-requested deletion from the Work results in a decrease in the actual time required to complete the Work as demonstrable on the Bar Graph Schedule or on the CPM Schedule, whichever is appropriate. The Contractor may submit a request to decrease, by Change Order, the Time for Completion or Contract Completion Date under the procedures and subject to the considerations set forth in Section 19(f). No request for such decrease shall be considered for approval unless the proposed shorter schedule is otherwise acceptable under Sections 19(b) or (c), whichever is applicable. The Change Order decreasing the Time for Completion or changing the Contract Completion Date must be signed by both the Owner and the Contractor.

With the exception of Change Orders under Subsection 38(a)(3), which shall arrive at a change to the Contract Price and any change to time using the procedures set forth therein, each Change Order shall include all time and monetary impacts of the change, whether the Change Order is considered alone or with all other changes during the course of the Project. Failure to include a change to time and Contract Price in Section 38(a)(1) or (2) Change Orders shall waive any change to the time and Contract Price unless the parties mutually agree in writing to postpone a determination of the change to time and price resulting from the Change Order. Such a determination may be postponed not more than forty-five (45) days to give the Contractor an opportunity to demonstrate a change in the time and price needed to complete the Work. During any such postponement, the Work shall proceed, unless the Owner agrees otherwise.

If at any time there is a delay in the critical path of the Work due to postponement, due to the Contractor's efforts to justify an extension of the time or an increase in the Contract Price, or due to the Contractor's refusal to proceed with any of the Work, pending agreement on a change in time or price, such delay and any Contractor costs resulting from it shall not serve as the basis for the extension of the Time for Completion or Contract Completion Date or for an increase in the Contract Price.

- (h) The acceptance by the Contractor of any payment made by the Owner under a Change Order shall be and operate as a release to the Owner of all claims by the Contractor and of all liability owing to the Contractor for all things done or furnished in connection with the Work described in the Change Order. The execution of any Change Order by the Owner shall not be an acceptance of any Work or materials not in accordance with the Contract Documents, nor shall it relieve the Contractor of responsibility for faulty materials or workmanship or operate to release the Contractor or his surety from any obligation arising under the Contract or the Standard Performance Bond or Standard Labor and Material Payment Bond.
- (i) Payments will not be made for any Work, labor or materials on a unit price or Subsection 38(a)(3) basis until the Contractor has furnished the Owner documents, certified as true and correct by an authorized officer or agent of the Contractor, evidencing the cost of such Work, labor and materials. The Owner may require any or all of the following documentation to be provided by the Contractor.

**For Work performed on a Unit Price basis:**

- (1) certified measurements of authorized and approved excavations, over-excavations, fills and/or backfills, and similar work; and/or
- (2) certified measurements of piling installed, caissons installed, and similar work; and/or

- (3) daily records of waste materials removed from the Site and/or fill materials imported to the Site.

**For Work performed on a Subsection 38(a)(3) basis:**

- (1) certified payroll records showing the name, classification, date, daily hours, total hours, rate, and extension for each laborer, foreman, supervisor or other worker;
- (2) equipment type & model, dates, daily hours, total hours, rental rate or other specified rate, and extension for each unit of equipment;
- (3) invoices for materials showing quantities, prices, and extensions;
- (4) daily records of waste materials removed from the Site and/or fill materials imported to the Site;
- (5) certified measurements of over-excavations, piling installed and similar work; and/or
- (6) transportation records for materials, including prices, loads, and extensions.

Requests for payment shall be accompanied and supported by invoices for all materials used and for all transportation charges claimed. If materials come from the Contractor's own stock, then an affidavit may be furnished, in lieu of invoices, certifying quantities, prices, etc. to support the actual cost.

**39. EXTRAS**

If the Contractor claims that any instructions given to him by the Owner, by drawings or otherwise, involve extra Work which increases the scope of the Contract, then, except in emergencies endangering life or property, he shall give the Owner written notice thereof before proceeding to execute the Work. Said notice shall be given promptly enough to avoid delaying the Work and in no instance later than fourteen (14) days after the receipt of such instructions. Should it not be immediately clear to the Contractor that the change involves extra Work outside the scope of the Contract, written notice shall be sufficient if given as soon as possible after such realization, but in no event later than fourteen (14) days after the start of such Work. If the Owner agrees, a Change Order shall be issued as provided in Section 38 of these General Conditions, and any additional compensation shall be determined by one of the three (3) methods provided in Subsection 38(a), as selected by the Owner. If the Owner does not agree, then any claims for compensation for the extra Work shall be filed in accordance with Section 47.

**40. CONTRACTOR'S RIGHT TO STOP WORK OR TERMINATE THE CONTRACT**

If the Work should be stopped under an order of any court or other public authority for a period of ninety (90) days through no fault of the Contractor or anyone employed by him, or if the Owner should fail to pay to the Contractor within thirty (30) days any sum certified by the Owner when no dispute exists as to the sum due or any provision of the Contract, then the Contractor may, upon ten (10) calendar days written notice to the Owner, stop Work or terminate the Contract and recover from the Owner payment for the cost of the Work actually performed, together with overhead and profit thereon, but profit on the Work performed shall be recovered only to the extent that the Contractor can demonstrate that he would have had profit on the entire Contract if he had completed the Work. The Contractor may not receive profit or any other type of compensation for parts of the Work not performed. The Contractor may recover the reasonable cost of physically closing down the Site, but no other costs of termination. The Owner may offset any claims it may have against the Contractor against the amounts due to the Contractor. In no event shall termination of the Contract by the Contractor terminate the obligations of the Contractor's surety on its payment and performance bonds.

**41. OWNER'S RIGHT TO TERMINATE THE CONTRACT FOR CAUSE**

- (a) If the Contractor should be adjudged as bankrupt, or if he should make a general assignment for the benefit of his creditors, or if a receiver should be appointed on account of his insolvency, the Owner may terminate the Contract. If the Contractor should refuse or should repeatedly fail, except in cases for which extension of time is provided, to supply enough properly skilled workmen or proper materials and equipment, or if he should fail to perform the Work in a diligent, efficient, workmanlike, skillful, and careful manner, or if he should fail or refuse to perform the Work in accordance with the Contract Documents, or if he should fail to make prompt payment to Subcontractors or Suppliers of material or labor, or if he should disregard laws, ordinances or the written instructions of the Architect/Engineer or the Owner, or otherwise be in substantial violation of any provision of the Contract, then the Owner may terminate the Contract.
- (b) Prior to termination of the Contract, the Owner shall give the Contractor and his surety ten (10) days written notice of such termination in the manner provided in Section 1 (definition of "Notice") of these General Conditions and allow ten (10) days, during which the Contractor and/or his surety may rectify the basis for the notice. If rectified to the satisfaction of the Owner within said ten (10) days, the Owner may rescind its notice of termination. If not, the termination for cause shall become effective at the end of the ten (10) day notice period without further notice to the Contractor. In the alternative, the Owner may, in writing, postpone the effective date of the termination for cause, at its sole discretion, if it should receive reassurances from the Contractor and/or its surety that the basis for the termination will be remedied in a time and manner which the Owner finds acceptable. If at any time after such postponement, the Owner determines that Contractor and/or its surety has not or is not likely to rectify the causes of termination in an acceptable manner or within the time allowed, then the Owner may immediately terminate the Contract for cause, without the necessity of further ten (10) day notice, by notifying the Contractor and his surety in writing of the termination. In no event shall termination for cause terminate the obligations of the Contractor's surety on its payment and performance bonds.
- (c) Upon termination of the Contract becoming effective, the Owner shall take possession of the Site and of all materials, tools and equipment thereon and shall proceed as follows:
  - (1) **No Security Provided:** If no security has been provided pursuant to Section 8 herein, the Owner shall finish the Work by whatever method he may deem expedient. If the expense of finishing the Work, including compensation for additional managerial and administrative services, shall exceed the unpaid balance of the Contract Price, the Contractor shall pay the difference to the Owner, together with any other expenses of terminating the Contract and having it completed by others.
  - (2) **Security Provided:** If security has been provided pursuant to Section 8 herein, the Owner shall provide Notice to the Surety that termination of the Contract became effective and proceed as set forth in the Standard Performance Bond, CO-10, Form # DGS-30-084, and the Terms and Conditions therein. If the expense of finishing the Work, including compensation for additional managerial and administrative services, shall exceed the unpaid balance of the Contract Price and the penal amount of the Standard Performance Bond, the Contractor shall pay the difference to the Owner, together with any other expenses of terminating the Contract and having it completed by others.
- (d) If it should be judicially determined that the Owner improperly terminated this Contract for cause, then the termination shall be deemed to be a termination for the convenience of the Owner, and the Contractor's rights and remedies shall be solely limited to those provided by Section 42 of these General Conditions.
- (e) Termination of the Contract under this Section is in addition to and without prejudice to any other right or remedy of the Owner. Any actions by the Owner permitted herein shall not be deemed a waiver of any other right or remedy of the Owner under the Contract or under the law. The Owner may

offset any claims it may have against the Contractor against the amounts due to the Contractor. The provisions of this Section shall survive termination of the Contract.

**42. TERMINATION BY OWNER FOR CONVENIENCE**

- (a) The Owner may terminate this Contract, in whole or in part, at any time without cause upon giving the Contractor written notice of such termination in the manner provided in Section 1 (definition of "Notice") of these General Conditions. Upon such termination, the Contractor shall immediately cease Work and remove from the Site all of its labor forces, equipment, and such of its materials as Owner elects not to purchase or to assume in the manner hereinafter provided. Upon such termination, the Contractor shall take such steps as Owner may require to assign to the Owner the Contractor's interest in all Subcontracts and purchase orders designated by Owner. After all such steps have been taken to Owner's satisfaction, the Contractor shall receive as full compensation for termination and assignment the following:
- (1) Amounts due for Work performed in accordance with the Contract subsequent to the latest approved Schedule of Values and Certificate for Payment (Form CO-12) through the date of termination; and
  - (2) All amounts then otherwise due under the terms of this Contract associated with the Work performed prior to the date of termination; and
  - (3) Reasonable compensation for the actual cost of demobilization incurred by the Contractor as a direct result of such termination.

The Contractor shall not be entitled to any compensation or damages for lost profits or for any other type of contractual compensation or damages other than those provided in Subsection 42(a). The Owner may offset any claims it may have against the Contractor against the amounts due to the Contractor. Upon payment of the foregoing, Owner shall have no further obligations to Contractor of any nature. The Contractor agrees to waive all claims against the Owner for any consequential damages that may arise from or relate to the Owner's termination of the Contract including, but not limited to, damages for loss of revenue, income, profit, business, reputation, or bonding capacity.

- (b) In no event shall termination for the convenience of the Owner terminate the obligations of the Contractor's surety on its payment and performance bonds.
- (c) Any actions by the Owner permitted herein shall not be deemed a waiver of any other right or remedy of the Owner under the Contract or under the law. The provisions of this Section shall survive termination of the Contract.

**43. DAMAGES FOR DELAYS; EXTENSION OF TIME**

- (a) **Excusable Non-Compensable Delays:** If and to the extent that the Contractor is delayed at any time in the progress of the Work by strikes, fires, unusual delays in transportation or unavoidable casualties, or other causes outside the control of the Owner or the Contractor, with the exception of delays caused by weather provided for in Section 6, for which the Contractor intends to request an extension of either the Time for Completion or the Contract Completion Date, as the case may be, then the Contractor shall give the Owner and Architect/Engineer written notice of the delay within fourteen (14) days of the inception of the delay. The Contractor shall also give written notice to the Owner and Architect/Engineer of the termination of the delay not more than fourteen (14) days after such termination. If the Owner agrees with the existence and the impact of the delay, the Owner shall extend the Time for Completion, the Contract Completion Date or Final Completion Date, as the case may be, for the length of time that the date for Substantial Completion or Final Completion was actually delayed thereby, and the Contractor shall not be charged with liquidated or actual damages for delay during the period of such extension nor shall the Contractor be due compensation or damages of any kind, under any theory of law, as a result of such delay, the impact of such delay, or acceleration of Work as a result of such delay. In the event a CPM schedule is required by the

Contract, no extension of the Time for Completion or Contract Completion Date shall be granted unless the Contractor demonstrates a delay in the critical path of the approved CPM schedule or approved bar graph schedule.

- (b) **Excusable Compensable Delays:** If and to the extent that the Contractor is unreasonably delayed at any time in the progress of the Work by any acts or omissions of the Owner, its agents, or employees, and due to causes within the Owner's control, and the Contractor intends to request an extension of either the Time for Completion or the Contract Completion Date, as the case may be, and/or additional compensation for damages, if any, caused by the delay, then the Contractor shall notify the Owner and the Architect/Engineer immediately at the time of the occurrence giving rise to the delay by the fastest means available and shall give written notice no later than two (2) working days after inception of the delay. The Contractor's written notice shall specify the nature of the delay claimed by the Contractor, the cause of the delay, and the impact of the delay on the Contractor's Work schedule. The Owner shall then have three (3) working days to respond to the Contractor's notice with a resolution, remedy, direction to alleviate the delay, or rejection of the Contractor's notice of delay. The Owner's failure to respond within the time required shall be deemed to be a rejection of the Contractor's notice. The Contractor shall also give written notice to the Owner and Architect/Engineer of the termination of the delay not more than fourteen (14) days after such termination. If and to the extent that a delay is caused by or due to the Owner or A/E taking any actions permitted or required by the Contract, the Contractor shall be entitled to an extension of time or additional compensation only for the portion of the delay that is unreasonable, if any.
- (c) **Non-Excusable Non-Compensable Delays:** The Contractor shall not be entitled to an extension of the Time for Completion or Contract Completion Date or to any additional compensation for delays if and to the extent they are (1) caused by acts, omissions, fault, or negligence of the Contractor or his Subcontractors, agents or employees or due to foreseeable causes within their control, including, but not limited to, delays resulting from Defective Work including workmanship and/or materials, from rejected work which must be corrected before dependent work can proceed, from Defective Work or rejected work for which corrective action must be determined before like work can proceed, from incomplete, incorrect, or unacceptable Submittals or samples, or from the failure to furnish enough properly skilled workers, proper materials or necessary equipment to diligently perform the work in a timely manner in accordance with the Project schedule; or (2) due to causes that would entitle the Owner to recover delay costs or damages.
- (d) No extension of time or additional compensation, if applicable, will be granted for any delay unless the claimed delay directly affects the critical path of the approved CPM schedule or the schedule shown on the approved bar graph schedule, whichever is applicable, and any float has been consumed. No extension of time or additional compensation shall be given for a delay if the Contractor failed to give notice in the manner and within the time prescribed in Subsections 43(a) or (b) above, whichever applies. Furthermore, no extension of time or additional compensation shall be given for any delay unless a written request therefor is made in writing to the Owner within twenty (20) days of the end of the delay. The request shall state the cause of the delay, the number of days of extension requested, and any additional compensation requested by the Contractor. Failure to give written notice of either the inception or the termination of the cause of delay or failure to present a claim for extension of time and/or monetary compensation within the times prescribed shall constitute a waiver of any claim for extension or additional compensation based upon that cause.
- (e) Requests for extensions of time and/or compensation for delays pursuant to Subsection 43(b) above must be substantiated by itemized data and records clearly showing that the Work delayed was on the critical path of the approved CPM schedule or on the sequence of Work on the approved bar graph schedule, as modified, whichever applies, and that the additional time and/or costs incurred by the Contractor are directly attributable to the delay in the Work claimed. Furthermore, compensation for delay shall be calculated from the contractual Time for Completion or Contract Completion Date, as adjusted by Change Order, and shall not be calculated based on any early completion planned or scheduled by the Contractor, unless a Change Order has been executed

pursuant to Section 19(f) changing the Time for Completion or the Contract Completion Date to reflect such early completion. See Section 19 for procedures for the Contractor to follow if he plans early completion of the Work and wishes to request a Change Order reflecting the early completion date.

**Agreed Compensation/Liquidated Damages for Owner Delay:**

If and to the extent that the Contractor is entitled to an extension in the Time for Completion or the Contract Completion Date and additional compensation purely as a result of delay under Subsection 43(b) and not as a result of a change in the Work under Section 38, the agreed compensation and liquidated damages due the Contractor for days added to the Time for Completion or the Contract Completion Date for each day of such delay shall be the per diem expenses as determined from an itemized accounting of the direct Site overhead expenses and home office and other indirect overhead expenses only as specified in Subsections 38(e)(6)(i) and (ii). These expenses shall exclude any and all expenses specified in Subsection 38(f).

- (f) If the Contractor submits a claim for delay damages pursuant to Subsection 43(b) above, the Contractor shall be liable to the Owner for a percentage of all costs incurred by the Owner in investigating, analyzing, negotiating and litigating or arbitrating the claim, which percentage shall be equal to the percentage of the Contractor's total delay claim which is determined through litigation or arbitration to be false or to have no basis in law or in fact. (Section 2.2-4335., Code of Virginia)
- (g) Any change in the Contract Time for Completion or Contract Completion Date shall be accomplished only by issuance of a Change Order.
- (h) **Agreed Compensation/Liquidated Damages for Contractor Delay:** If the Contractor fails to complete the Work within the Time for Completion or the Contract Completion Date, the Contractor shall be liable to the Owner in the amounts set forth in the Supplemental General Conditions, if any, not as a penalty, but as fixed, agreed and liquidated damages for delay until the Work is substantially or finally completed as the case may be. If liquidated damages are not so fixed in the Supplemental General Conditions, the Contractor shall be liable for any and all actual damages sustained as a result of delay. In addition to damages for delay, whether liquidated or actual, the Contractor shall also be liable for any and all actual damages sustained by the Owner as a result of any other breach of the Contract, including, but not limited to, Defective Work and abandonment of the Contract.
- (i) If liquidated damages are provided by the Supplemental General Conditions, the following provisions apply:
  - (1) If the Work is not substantially complete by the Time for Completion or Contract Completion Date, the Contractor shall owe to the Owner, not as a penalty but as Step One liquidated damages, the sum stated in the Supplemental General Conditions for Step One liquidated damages for each and every partial or total calendar day of delay in Substantial Completion.
  - (2) Once the Work is substantially complete, the accrual of Step One liquidated damages shall cease and the Contractor shall have thirty (30) calendar days in which to achieve Final Completion of the Work.
  - (3) If Final Completion of the Work is not achieved on or before the thirtieth (30th) calendar day after Substantial Completion, and if the Owner has not granted any extension of time, the Contractor shall owe to the Owner, not as a penalty but as Step Two liquidated damages, the sum stated in the Supplemental General Conditions as Step Two liquidated damages for each and every partial or total calendar day of delay in Final Completion.
- (j) The Contractor waives any and all defenses as to the validity of any liquidated damage provisions in the General Conditions or other Contract Documents, or of any liquidated damages assessed against the Contractor, on the grounds that such damages are void as penalties or are not reasonably related to actual damages.



**44. INSPECTION FOR SUBSTANTIAL COMPLETION & FINAL COMPLETION**

- (a) The Contractor shall notify the Owner, in writing on the Certificate of Partial or Substantial Completion by the Contractor (Form CO-13.2a), of the date when the Work or designated portion thereof, will be, in his opinion, substantially complete and ready for inspection and testing to determine if it has reached Substantial Completion. The notice shall be given at least ten (10) days in advance of said date. Inspection and testing shall take place at a time(s) mutually agreeable to the Contractor and the Owner.

The inspection shall include a demonstration by the Contractor that all equipment, systems and operable components of the project function properly and in accordance with the Contract Documents. The Contractor shall furnish access for the inspection and testing as provided in Section 21 of these General Conditions. The inspection and testing shall determine whether Substantial Completion has been accomplished and shall result in a written list of unfinished Work and Defective Work, commonly referred to as a "punch list", which must be finished and corrected to obtain Final Completion.

After successful completion of the testing and the Architect / Engineer determines that, in its opinion, the Work, either in whole or in part, is substantially complete, the Architect / Engineer shall notify the Owner, in writing on the Certificate of Partial or Substantial Completion by the Architect/Engineer (Form CO-13.1a), that the Work, or a specified portion thereof, is recommended to be declared substantially complete. The Owner shall notify the Contractor, in writing, of the date the Owner accepts the Work, or the specified portion thereof, as substantially complete or the Owner shall notify the Contractor of the deficiencies to be corrected or completed before such Work will be accepted as substantially complete.

- (b) The Contractor shall notify the Owner, in writing on the Certificate of Completion by the Contractor (form CO-13.2), of the date when the Work has reached or will reach Final Completion and will be ready for final inspection and testing. The notice shall be given at least five (5) days in advance of said date. That inspection and any necessary testing shall be conducted in the same manner as the inspection for Substantial Completion. When the Work is finally and totally complete, including the elimination of all defects, the Work shall be finally accepted by the Owner and Final Payment shall be made in accordance with Section 36 of these General Conditions.
- (c) Representatives of the Building Official will participate in the Substantial Completion Inspection. The Owner may elect to have other persons of its choosing also participate in the inspections. If one or more Substantial or Final Completion re-inspections are required, the Contractor shall reimburse the Owner for all costs of re-inspection or, at the Owner's option, the costs may be deducted from payments due to the Contractor.
- (d) A representative of the State Fire Marshal's Office will either be present at the Substantial and Final Completion inspections or otherwise inspect the completed Work and advise the Owner whether the Work meets the fire safety requirements of the applicable building code.
- (e) Approval of Work at or as a result of any inspection required herein shall not release the Contractor or his surety from responsibility for complying with the Contract.

**45. GUARANTEE OF WORK**

- (a) Except as otherwise specified, all Work shall be, and is hereby, guaranteed by the Contractor against defects resulting from the use of materials, equipment or workmanship, which are defective, inferior, or not in accordance with the terms of the Contract, for one (1) year from the date of Final Completion of the entire Project by the Owner. Equipment and facilities which have seasonal limitations on their operation (e.g. heating or air conditioning units) shall be guaranteed for one (1) full year from the date of seasonally appropriate tests and acceptance, in writing, by the Owner. Where the Owner agrees to take Beneficial Occupancy of a portion or phase of the Work which has

been determined to be substantially complete before the entire Work is finally completed, the guarantees for the materials, equipment and workmanship in that portion or phase shall begin on the date that the Owner takes Beneficial Occupancy, unless otherwise specified in the Supplemental General Conditions, Special Conditions, or by separate agreement. At six (6) months and eleven (11) months after substantial completion, the Contractor shall meet with the Owner to review the status of and assign value to any unresolved warranty, guarantee, and punch list items.

- (b) If, within any guarantee period, Work which is not in accordance with the Contract, Defective Work, or inferior material, equipment or workmanship is noted by the Owner which requires or renders necessary repairs or changes in connection with the guaranteed Work, the Contractor shall, promptly upon receipt of notice from the Owner, such notice being given not later than two weeks after the guarantee period expires, and without expense to the Owner:
  - (1) Place in satisfactory condition in every particular all of such guaranteed Work and correct all defects, inferior materials, equipment or workmanship therein;
  - (2) Make good all damage to the structure or Site or equipment or contents thereof, which, in the opinion of the Owner, is the result of the use of materials, equipment or workmanship which are inferior, defective or not in accordance with the terms of the Contract; and
  - (3) Make good any Work or materials or the equipment and contents of structures and/or Site disturbance that results from fulfilling the provisions of this Section.
- (c) In any case, when in fulfilling the requirements of the Contract and this guarantee or any other guaranty or warranty, the Contractor disturbs any work performed by a separate contractor, he shall restore such work to a condition satisfactory to the Owner and guarantee such restored work to the same extent as if it was guaranteed under this Contract.
- (d) If the Contractor, after notice, fails to proceed promptly to comply with the terms of the guarantee as set forth in this Section, the Owner may have the defects or inferior materials, equipment or workmanship corrected and the Contractor and his surety shall be liable for all expense incurred.
- (e) All special warranties and guarantees applicable to definite parts of the Work that may be stipulated in or required by the Contract Documents shall be subject to the terms of this Section during the first year of the life of such special warranty or guarantee.
- (f) The guarantee of this Section shall be in addition to and not in lieu of all other warranties, express or implied, applicable to or arising from this Contract or by law.
- (g) Nothing contained in this Section shall be construed to establish a period of limitation with respect to any other obligation which the Contractor might have under the Contract Documents, including liability for Defective Work under Section 30. This Section relates only to the specific obligation of the Contractor as set forth in this Section to correct the Work and does not limit the time within which his obligation to comply with the Contract Documents may be sought to be enforced, nor the time within which proceedings may be commenced to establish the Contractor's liability with respect to his other obligations under the Contract Documents.
- (h) In the event the Work of the Contractor is to be modified by another contractor, either before or after the Final Inspection provided by Section 44 of the General Conditions, the first Contractor shall remain responsible in all respects under this Section's Guarantee of Work and under any other warranties or guarantees, express or implied, applicable to or arising from this Contract or by law. However, the Contractor shall not be responsible for any defects in material or workmanship introduced by the contractor modifying his Work. The first Contractor and the contractor making the modifications shall each be solely responsible for his respective work. The contractor modifying the earlier Work shall be responsible for any damage to or defect introduced into the Work by his modification. If the first contractor claims that a subsequent contractor has introduced defects of materials and/or workmanship into his Work, it shall be the burden of the contractor

making the claim to demonstrate clearly the nature and extent of such introduced defects and the other contractor's responsibility for those defects. Any contractor modifying the work of another shall have the same burden if he asserts that defects in his work were caused by the contractor whose work he is modifying.

- (i) The Contractor shall indemnify and hold harmless the Commonwealth of Virginia, the Owner and the Owner's consultants, representatives, agents and employees from and against any and all claims, causes of action, losses, costs, expenses or damages, including but not limited to attorney's fees, of any kind or nature whatsoever, arising from or relating to any bodily injury, including sickness, disease or death, or any property damage, that result from or arise out of the work performed by the Contractor, or by or in consequence of any neglect in safeguarding the Work, through the use of unacceptable materials in the Work, or resulting from any act, omission, negligence, or misconduct of the Contractor, any of his subcontractors, anyone directly or indirectly employed by them or anyone for whose acts they may be liable. The Owner may retain as much of the moneys due the Contractor under the Contract as the Owner considers necessary to ensure that a fund will be available to pay a settlement or judgment of such suits, actions, or claims. If insufficient monies are or will become due, the Contractor's surety and/or insurers will not be released from liability until all such claims and actions have been settled and suitable evidence to that effect has been furnished the Owner.

**46. ASSIGNMENTS**

Neither party to the Contract shall assign the Contract in whole or any part without the written consent of the other, nor shall the Contractor assign any moneys due or to become due to him hereunder, without the prior written consent of the Owner. Consent to assignment shall not be unreasonably withheld. No assignment shall relieve any party from its obligations under the Contract.

**47. CONTRACTUAL DISPUTES (§2.2-4363, Code of Virginia)**

- (a) Contractual claims, whether for money or for other relief, shall be submitted, in writing, no later than sixty (60) days after Final Payment; however, written notice of the Contractor's intention to file such claim must be given within fourteen (14) days of the time of the occurrence or beginning of the Work upon which the claim is based. Such notice shall state that it is a "notice of intent to file a claim" and include a written statement describing the act or omission of the Owner or its agents that allegedly caused or may cause damage to the Contractor and the nature of the claimed damage. The submission of a timely notice is a prerequisite to recovery under this Section. Failure to submit such notice of intent within the time and in the manner required shall be a conclusive waiver of the claim by the Contractor. Oral notice, the Owner's actual knowledge, or a written notice given after the expiration of fourteen (14) days of time of the occurrence or beginning of the Work upon which the claim is based, shall not be sufficient to satisfy the requirements of this Section. Although the Contractor may be required to submit certain classes of claims prior to Final Payment, and the Contractor is not prevented from submitting claims during the pendency of the Work, the Owner shall not be obligated to render a final written decision on any claim until after Final Payment. All claims shall state that they are "claims" pursuant to this Section, be submitted along with all practically available supporting evidence and documentation and the certification required by Subsection 47(f), and request a final decision. Certificates for payment, applications for payment, vouchers, invoices and similar requests for payment submitted for work done by the Contractor in accordance with the expected contract performance are routine submissions and shall not be considered claims under this Section. Proposed or requested change orders, demands for money compensation or other relief, and correspondence and e-mails to the Owner or its representatives, which do not strictly comply with the requirements of this Section, shall not be considered claims under this Section.
- (b) No written decision denying a claim or addressing issues related to the claim shall be considered a denial pursuant to this Section unless the written decision makes express reference to this Section and is signed by the Agency head or his designee. The Contractor may not institute legal action prior to receipt of the Owner's final written decision on the claim unless the Owner fails to render

such a decision within ninety (90) days of submission of the claim, at which time the claim shall be deemed denied.

- (c) The decision of the agency head or other signatory on the Contract shall be final and conclusive unless the Contractor within six (6) months of the date of the final decision on a claim, initiates legal action as provided in § 2.2-4364 of the Code of Virginia. Failure of the Owner to render a decision within 90 days shall not result in the Contractor being awarded the relief claimed nor shall it result in any other relief or penalty. The sole result of the Owner's failure to render a decision within 90 days shall be the Contractor's right to immediately institute legal action. No administrative appeals procedure pursuant to § 2.2-4365 of the Code of Virginia has been established for contractual claims under this Contract.
- (d) Pursuant to § 2.2-4366, Alternative Dispute Resolution, of the Code of Virginia, the Owner may enter into an agreement with the Contractor to submit disputes arising from the performance of this Contract to arbitration and utilize mediation and other alternative dispute resolution procedures. **However**, such procedures entered into by the Owner, the Commonwealth, or any department, institution, division, commission, board or bureau thereof, shall be non-binding and subject to § 2.2-514, as applicable.
- (e) In the event that a dispute, claim or controversy between the Owner and the Contractor arises regarding the requirements of the Contract, the performance of the Work, payment due the Contractor, the terms of any Change Order, or otherwise, the Contractor shall not stop, suspend or delay the Work or any part of the Work to be performed under the Contract, or under any Change Order, or as ordered by the Owner. The Contractor shall continue to diligently prosecute the Work to completion, including work required in any Change Order or as directed by the Owner.
- (f) Along with a claim submitted under this Section, the Contractor shall submit a claim certification form. Claims submitted without the certification form shall not constitute a proper claim and, if not submitted with the certification within the time required, shall be deemed to be waived.
- (g) The remedies provided in these General Conditions, including costs, expenses, damages or extensions of time, shall be the Contractor's sole remedies for the acts, omissions or breaches of the Owner, which shall survive termination or breach of the Contract.

**48. ASBESTOS**

- (a) This subsection applies to projects involving existing buildings where asbestos abatement is not a part of the Work, when the scope of the project has been reviewed and a comprehensive survey conducted by an individual licensed by the Virginia Department of Professional and Occupational Regulation to conduct building inspections for asbestos containing materials in buildings, and where the Owner has attempted to remove or encapsulate all asbestos containing material that may become friable or damaged during this Project.

Prior to commencement of Work, the results of the comprehensive survey or any other asbestos survey shall be made available to the Contractor, who shall be responsible for performing his Work so as not to disturb any remaining asbestos, encapsulated or otherwise, identified in such survey or surveys.

If the Contractor discovers or inadvertently disturbs any material that he knows, should have known or has reason to believe, may contain asbestos that has not been previously identified, was overlooked during the removal, was deemed not to be friable or was encapsulated, the Contractor shall stop Work in the area containing or suspected to contain the asbestos, secure the area, and notify the Owner immediately by telephone or in person with written notice as soon as possible. The Owner will have the suspect material sampled.

If the sample is positive and must be disturbed in the course of the Work, the Owner shall have the material repaired or removed and shall pay for the bulk sample analysis.

Except as provided in §11-4.1 of the Code of Virginia, if the material disturbed is not within the Contractor's authorized Work and/or Work area or under this Contract, the Contractor shall pay for all associated sampling and abatement costs.

- (b) If asbestos abatement is included as a part of the Work, the Contractor shall assure that the asbestos abatement work is accomplished by those duly licensed as described in Section 3 of these General Conditions and in accordance with the specific requirements of the Contract and all applicable laws and regulations.
- (c) If asbestos abatement is included as part of the Work, the licensed asbestos Subcontractor shall obtain the insurance required under Section 11 (e) of these General Conditions.

**49. TRAINING, OPERATION AND MAINTENANCE OF EQUIPMENT**

- (a) As a part of the Work, the Contractor in conjunction with his Subcontractors and Suppliers shall provide the Owner's operations and maintenance personnel with adequate instruction and training in the proper operation and maintenance of any equipment, systems, and related controls provided or altered in the Work. The training requirements may be further defined in the specifications.
- (b) The Contractor shall provide the Owner with a minimum of two (2) copies of operating, maintenance and parts manuals for all equipment and systems provided in the Work. Further specific requirements may be indicated in the specifications.

**50. PROJECT MEETINGS**

- (a) The intention of this Section is that the Contractor and the Owner have timely exchange of information and cooperate to accomplish the Work as required by the Contract Documents. The Contractor is responsible for managing the Work, obtaining approvals and requesting clarifications on a timely, reasonable basis. The Owner is responsible for making a reasonable effort to provide timely responses to the Contractor.
- (b) **Preconstruction Meeting:**  
Prior to the start of construction and no later than 15 calendar days after the Notice to Proceed, a "Preconstruction" meeting shall be held with attendees to include the Owner's Project Manager and Project Inspector, the Architect/Engineer's project manager and representatives of each design discipline involved in the Project, the Regional Fire Marshal, the Contractor's project manager and superintendent (and scheduler, if Contractor desires), and representatives of the Contractor's major Subcontractors. The purpose of the meeting is to clarify and discuss the specifics related to, but not limited to, the following:
  - (1) Persons involved from each entity and their chain of authority including the names of persons authorized to sign Change Orders and any limits to their authority. Name of Contractor's on-site certified Responsible Land Disturber.
  - (2) Names, addresses, telephone numbers and FAX numbers to be used for Requests for Information (RFI), Requests for Clarification (RFC), Requests for Proposals (RFP), shop drawings, Submittals, and notices.
  - (3) Contractor's proposed construction schedule and Owner's sequencing requirements, if any.
  - (4) Schedule of Values and Certificate for Payment (Form CO-12) requirements and procedures.
  - (5) Procedures for shop drawings, product data and Submittals.
  - (6) Procedures for handling Field Orders and Change Order Form CO-11.

- (7) Procedures for Contractor's request for time extension, if any.
  - (8) Construction Site requirements, procedures and clarifications to include:
    - Manner of conducting the Work
    - Site specialties such as dust and erosion control, stormwater management, project signs, clean up and housekeeping, temporary facilities, utilities, security, and traffic
    - Safety
    - Layout of the Work
    - Quality control, testing, inspections and notices required
    - Site visits by the A/E and others
    - Owner's Project Inspector duties
    - Running Punch List
    - As-Built Drawings
  - (9) Procedures and documentation of differing or unforeseen Site conditions
  - (10) Monthly Pay Meeting
  - (11) Project Close-Out requirements and procedures
  - (12) Project records
- (c) **Monthly Pay Meeting:**  
Section 36 establishes the requirement for a monthly pay meeting which will usually be held at or near the Site. In addition to Owner and Contractor representatives, the following representatives, at a minimum, should be available to attend portions of the meeting, as applicable or necessary:
- Owner's Project Inspector
  - Contractor's project superintendent
  - A/E representative
  - A representative of each subcontractor who performed work included in the current pay request.
  - A representative of each subcontractor who is projected to perform work in the coming month.

The following topics should be included, as a minimum, in the monthly pay meeting:

- (1) Observations of status, quality and workmanship of Work in progress
  - (2) Validation of the Schedule of Values and Certificate for payment
  - (3) Conformance with proposed construction schedule
  - (4) Outstanding Requests for Information, Requests for Clarification and Requests for Proposal
  - (5) Submittals with action pending
  - (6) Status of pending Change Orders
  - (7) Status of Running Punch List items
  - (8) Work proposed for coming pay period
  - (9) Discussions of any problems or potential problems which need attention
- (d) **Other Meetings:**  
Requirements for other meetings, such as progress meetings, coordination meetings, pre-installation meetings and/or partnering meetings, may be included in the Contract Documents.

\* \* \* END OF DESIGN BUILD GENERAL CONDITIONS \* \* \*

## **TAB H**

### **SUPPLEMENTAL GENERAL CONDITIONS**

The parties agree that the following modifications to the Commonwealth of Virginia General Conditions of the Design-Build Contract, CO-7 DB (2004 Edition) shall apply to the Project:

1. With respect to the sections referenced below, obligations of the Contractor either (i) shall be performed by the Contractor or (ii) shall be caused by the Contractor to be performed by the Contractor's subcontractor serving as the general contractor for the construction portion of the Work (the "GC"). For example, a provision reading "The Contractor shall [perform xxx obligation]" shall be understood to mean "The Contractor shall [perform xxx obligation] or shall cause [xxx obligation to be performed] by the GC." Affected sections include the following: 8(a); 12(a); 17; 18(a); 25; and 31.
2. A new Section 2(h) shall be added at the end of Section 2, to read as follows: "If BCOM requires design or specifications beyond the requirements of those portions of the CPSM or the Building Code applicable to this Project, then a Change Order shall be issued."
3. The first sentence of Section 8(a) shall be amended to read in its entirety as follows: "For contracts with a value exceeding one hundred thousand dollars (\$100,000), the Contractor shall deliver to the Owner or its designated representative, a Commonwealth of Virginia Standard Performance Bond, DGS-30-084 (Form CO-10) and a Commonwealth of Virginia Standard Labor and Material Payment Bond, DGS-30-088 (Form CO-10.1) each fully executed by the Contractor and one or more surety companies legally licensed to do business in Virginia and each in an amount equal to one hundred percent (100%) of the construction portion of the Contract."
4. The fourth sentence of Section 8(a) shall be amended to read in its entirety as follows: "No payment on any construction portion of the Work shall be due and payable to the Contractor until the bonds have been approved by the Owner and the Office of the Attorney General of Virginia."
5. The following sentence shall be added at the end of Section 10(a): "The Owner shall coordinate activities of outside contractors so that the performance of any separate contracts shall not unnecessarily or unreasonably interfere with or delay the Contractor's performance of the Work."
6. The obligations and limitations of Sections 11(a), (b), (c) and (d) applicable to the Contractor shall be deemed applicable to the Contractor's GC and not the Contractor.
7. In Section 11(e) the reference to "\$6,000,000" shall be changed to "\$3,000,000."
8. The first sentence of Section 25(f) shall be amended to read in its entirety as follows: "The Department's Clerk of the Works shall be afforded a usable space in Developer's

field office (provided such space is reasonably available) and reasonable access to the construction sites, provided they do not unnecessarily or unreasonably interfere with or hinder Developer's work on the Project."

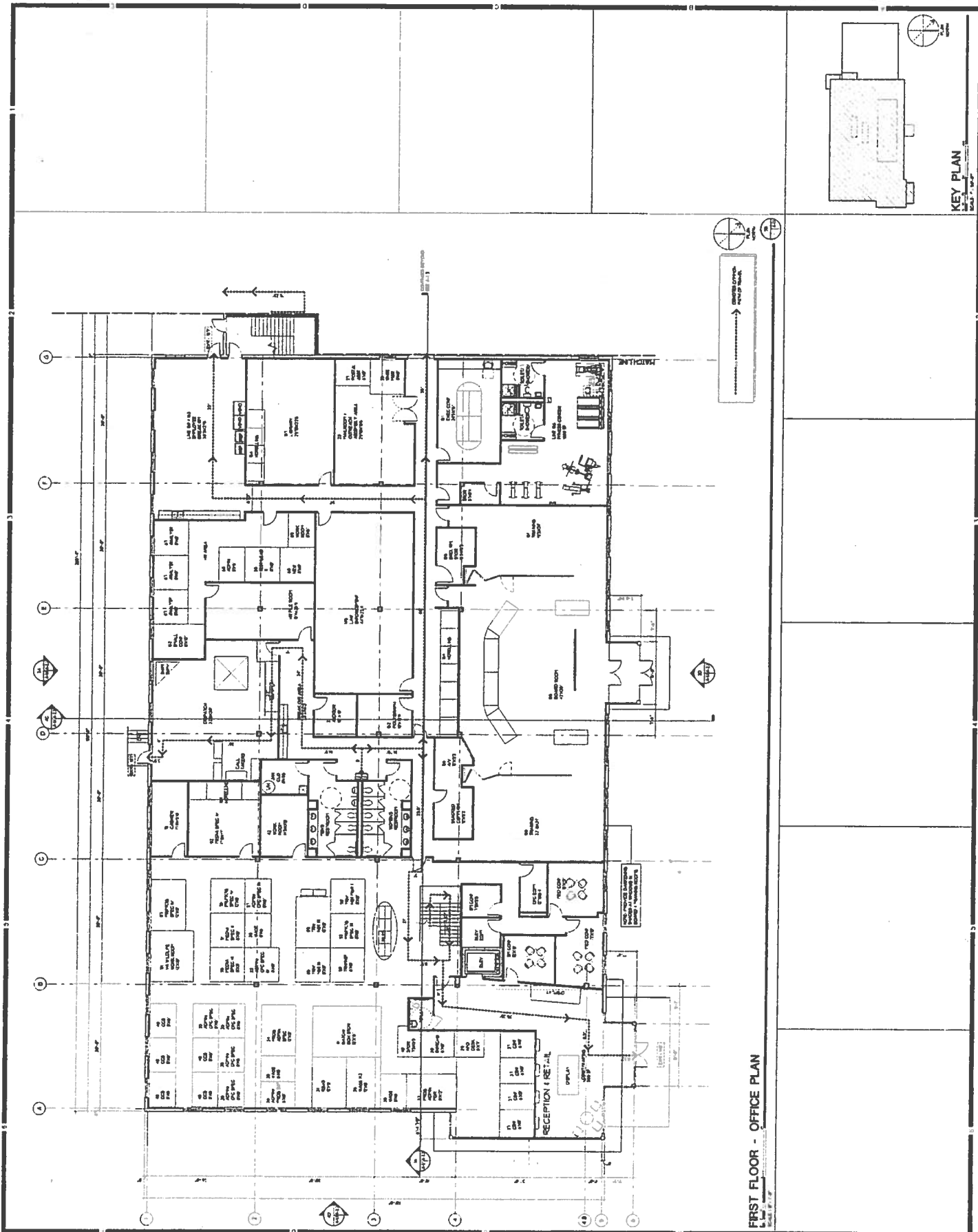
9. The first sentence of Section 36(d) shall be amended to read in its entirety as follows: "In making such partial payments, five percent (5%) of each payment to the Contractor for any construction portion of the Work (but not design or other soft cost items) shall be retained until Final Completion and acceptance of all Work covered by the Contract, unless otherwise provided by any law, regulation or program of the federal government."

10. Section 43(i) shall be amended to read in its entirety as follows: "Liquidated damages are not applicable to the Project or the Contract."



**TAB I**  
**SCHEMATIC PLANS DATED 12 JULY 2012**

See attachment.



DGF - NEW  
 HEADQUARTERS  
 & SITE  
 PC # 17783-  
 02&03 - 925-  
 RM02-15  
 NORTH LAKEBRIDGE  
 PARKWAY  
 ASHLAND, VIRGINIA

NOT FOR CONSTRUCTION

Baskerville

P.O. Box 889  
 Ashland, VA  
 23005-0889  
 804.224.8899  
 804.224.8898  
 804.224.8897

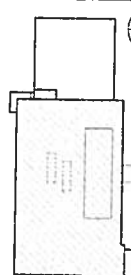
12 JULY 2012  
COMP. AGREEMENT

1. OWNER: COMMONWEALTH OF VIRGINIA  
 2. PROJECT: DGF - NEW HEADQUARTERS & SITE  
 3. DRAWING NO.: 22000103  
 4. SHEET NO.: 22000103

SECOND FLOOR  
OFFICE PLAN

22000103

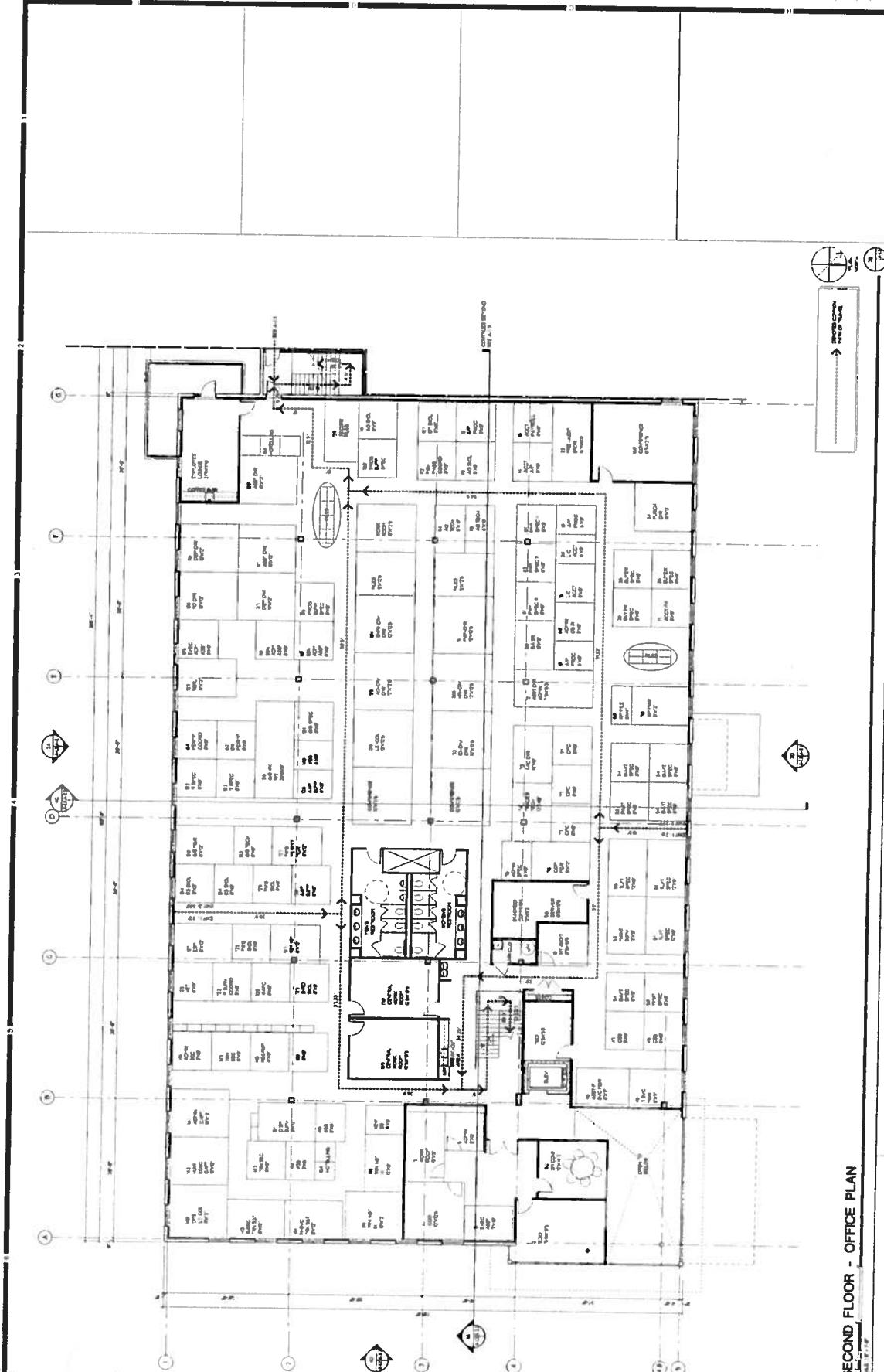
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KEY PLAN

SECOND FLOOR - OFFICE PLAN

Scale: 1/8" = 1'-0"



DGF - NEW HEADQUARTERS & SITE  
PC # 17783-02403 - 925-  
RM02-15  
NORTH LAKEVIEW PARKWAY  
ASHLAND, VIRGINIA

NOT FOR CONSTRUCTION

Baskerville

Architect

P.O. Box 446  
22816-0446

Phone: 800-446-4466  
Fax: 800-446-4466

Web: www.baskerville.com

904.842.1610  
1111111111

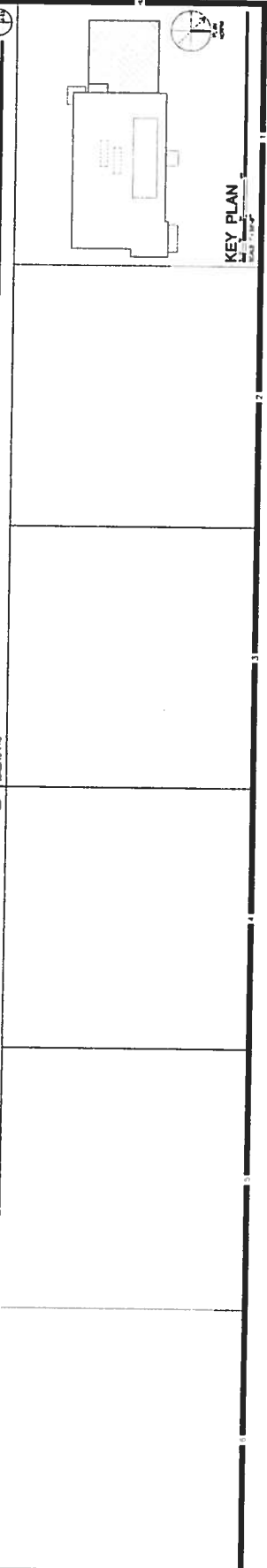
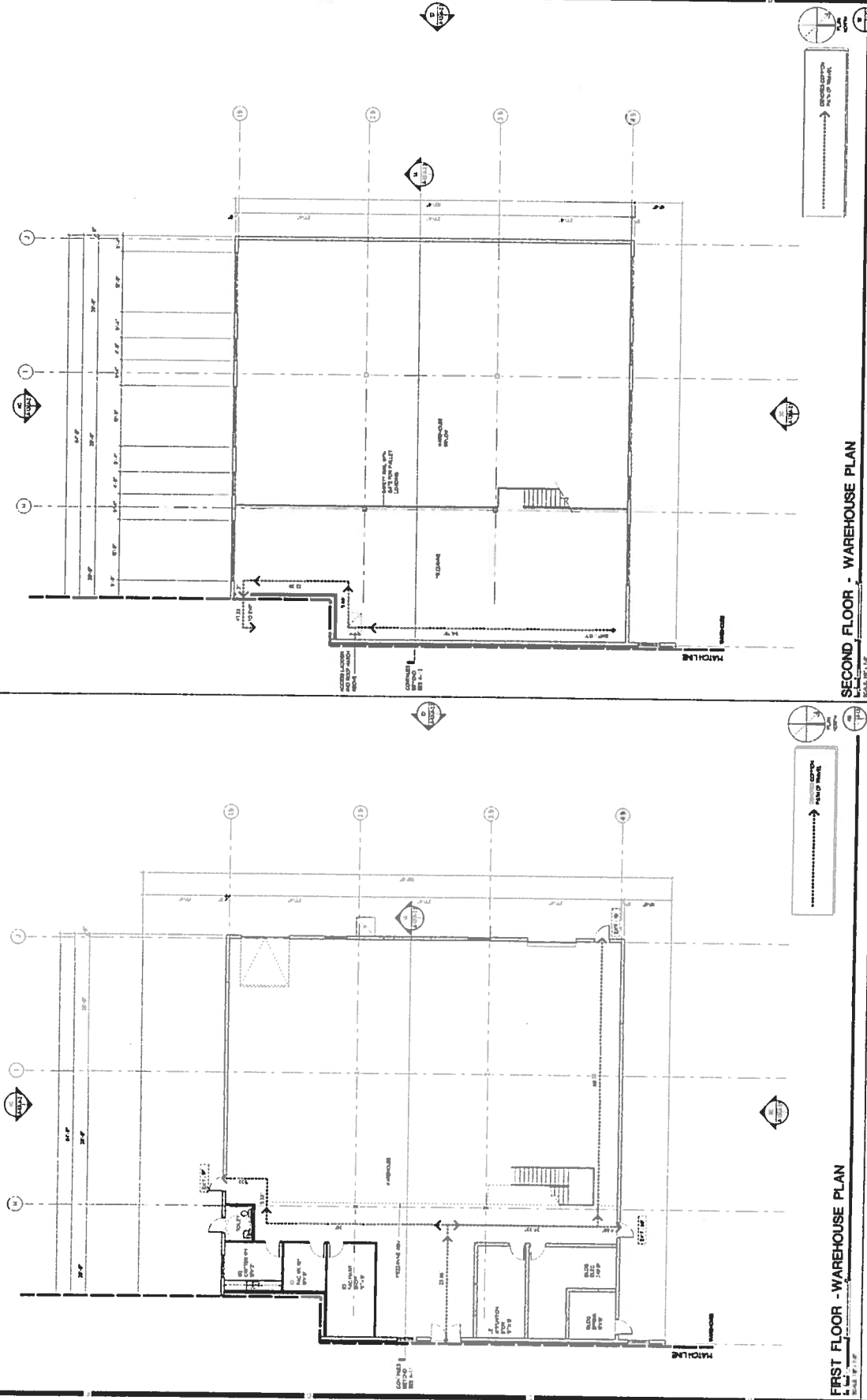
12 JULY 2012  
COMP. AGREEMENT

NO.	DESCRIPTION	DATE
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WAREHOUSE PLANS

2820013

A13







PC # 17783-02803 -825-RM02-15  
NORTH LAKEVIEW PARKWAY  
ASHLAND, VIRGINIA

NOT FOR CONSTRUCTION

Baskerville

1000 S. Main Street  
Suite 200  
Falls Church, VA 22044  
703.281.1111

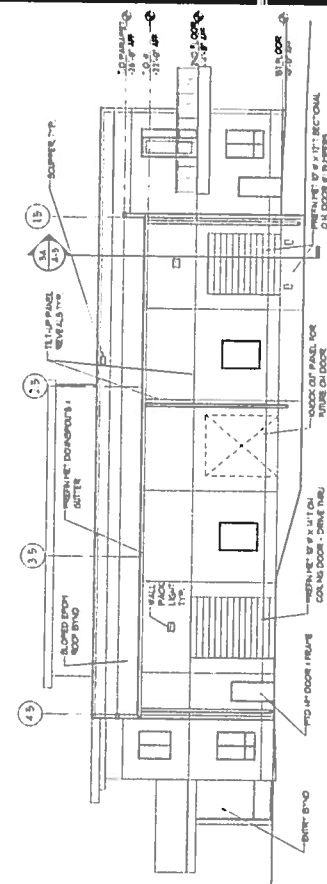
12 JULY 2012  
COMP. AGREEMENT

12 JULY 2012  
COMP. AGREEMENT

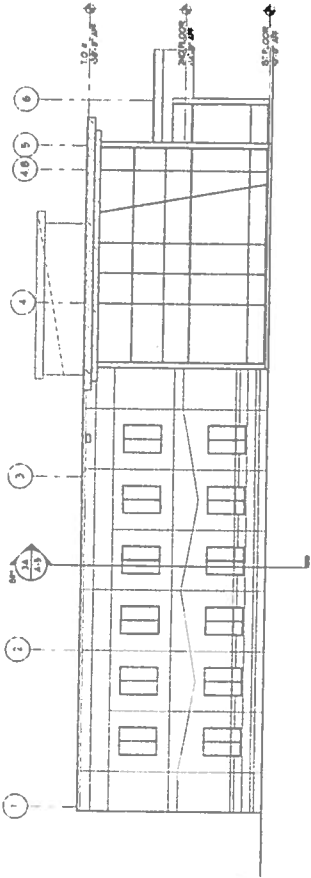
ELEVATIONS, BUILDING SECTIONS, & STRUCTURAL FRAMING

2/20/2018

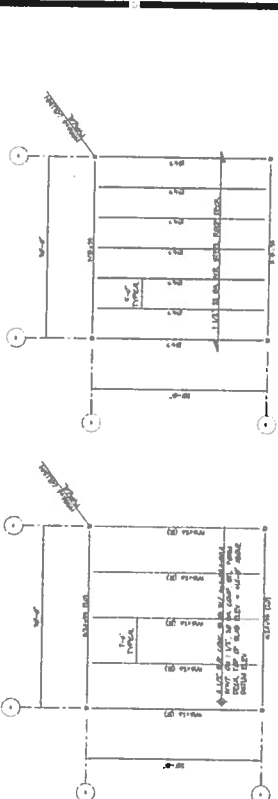
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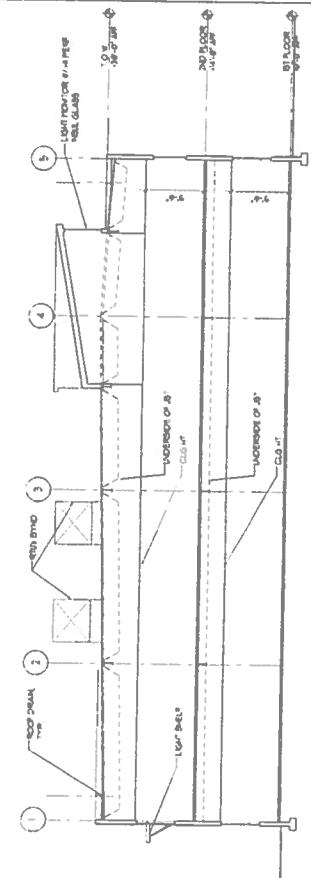
WEST ELEVATION



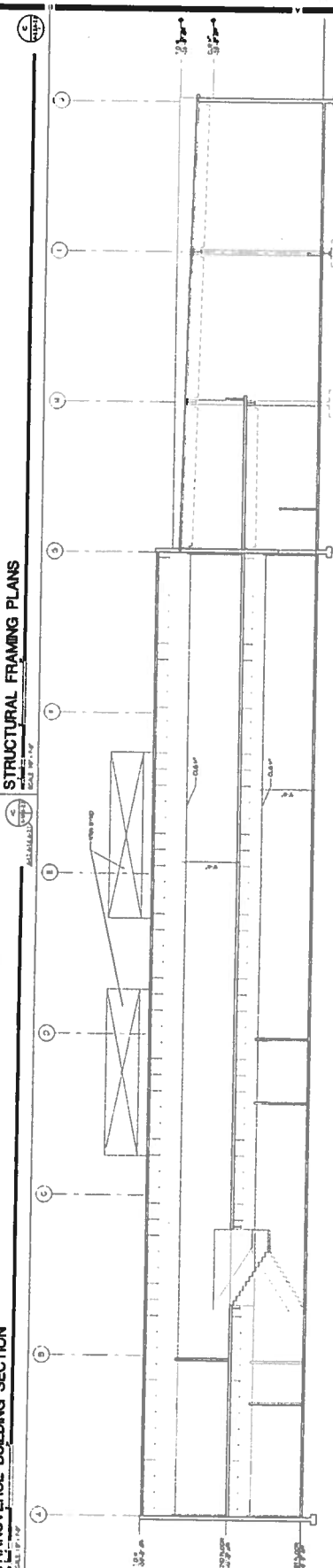
EAST ELEVATION



FLOOR FRAMING PLAN FOR TYPICAL INTERIOR BAY



TRANSVERSE BUILDING SECTION



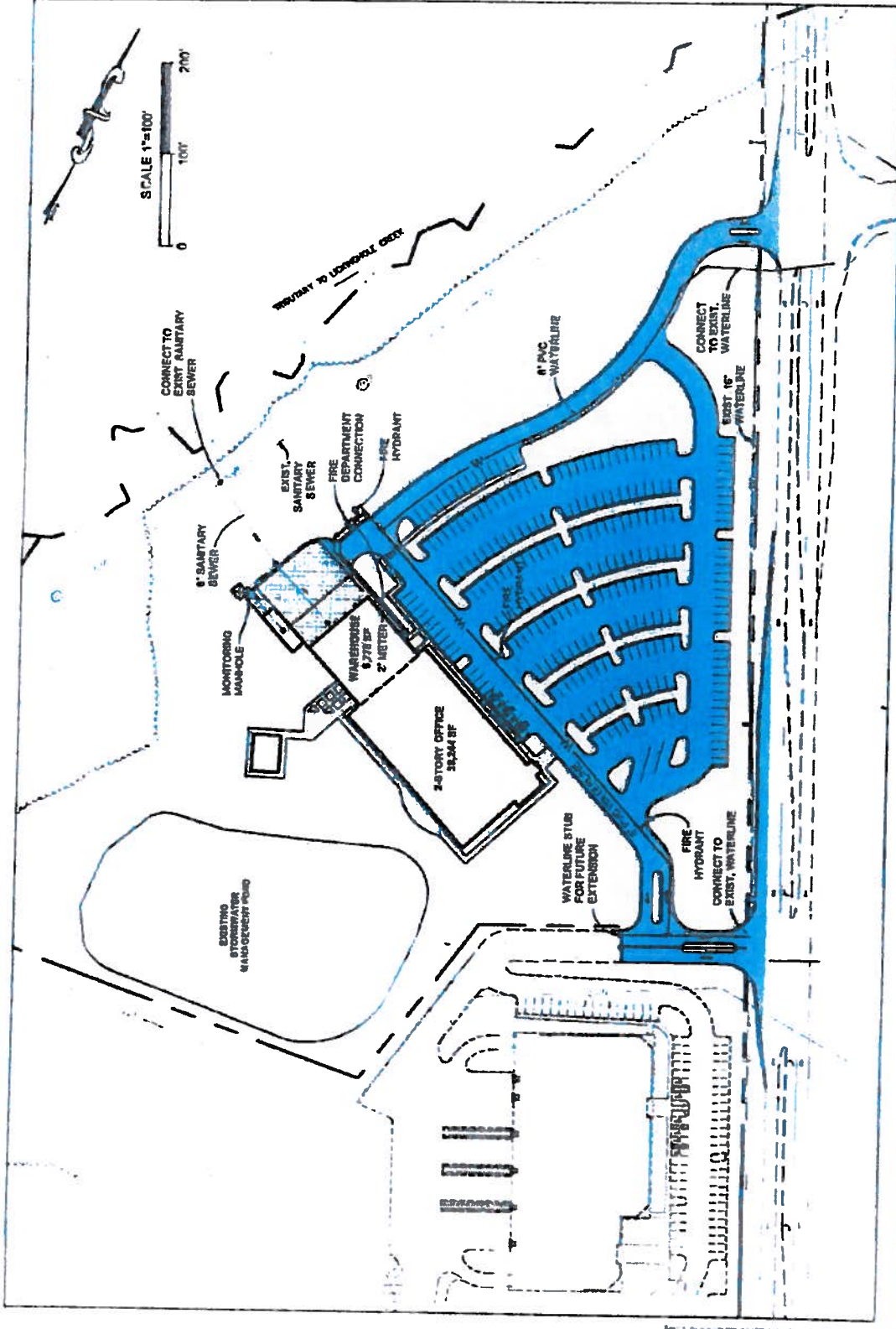
LONGITUDINAL BUILDING SECTION

ROOF FRAMING PLAN FOR TYPICAL INTERIOR BAY

STRUCTURAL FRAMING PLANS







ask + listen + create

Stop to or visit  
101 S 18th St  
Ste 200 - 23219

P.O. Box 400  
Richmond, Va  
23218-0400

004 343 1010  
fax 343 0900  
baskervill.com



# Department of Game and Inland Fisheries UTILITY PLAN







**TAB J**  
**MODIFICATIONS TO SCHEMATIC PLANS DATED 12 JULY 2012**

**Sheet A-1.1 – First Floor Office Plan**

1. Move door from janitor's closet from men's restroom to hallway, or add a second door from hallway.
2. Restore Law Enforcement Academy (149) to its former location adjacent to the employee break room, and restore the sliding doors so the room can be used to augment the break room when not in use as a classroom.
3. Restore the glass curtain wall at the corner with the employee break room to be accomplished through a corresponding reduction in developer cost.
4. Add the stone veneer back to the posts at the entrance.

**Sheet A-1.2 – Second Floor Office Plan**

1. Construct hard walls around the two conference rooms in the center of the floor to be accomplished through a corresponding reduction in developer cost.
2. Delete room 108 (Ass't Dir), move hotelling to alternate location, and enlarge employee lounge to occupy this space. Restore glass curtain wall the corner to match first floor to be accomplished through a corresponding reduction in developer cost.

**Sheet A-2.1 – Elevations**

1. Provide for adequate exhaust venting in the warehouse to allow for escape of hot air during the summer.

Provide a drawing for the pavilion.

Relocate the cross over on Lakeridge Parkway to accommodate an entrance to the Project that overlays the current entrance to the BMP facility; eliminate to the extent possible any modifications to the wetlands and drainage easement areas immediately south of the current entrance to the BMP facility; resituate the location of the buildings as needed to minimize impacts to the current access road to the BMP facility and BMP facility easements. Any resulting savings shall be credited as follows:

1. Developer shall receive the first \$50,000.00 of savings.
2. Department shall receive the next \$50,000.00 of savings.
3. Remaining savings shall be split equally between Developer and Department.

**TAB K**  
**ESTIMATED DRAW SCHEDULE**

See attachment.



**DGIF  
DRAW SCHEDULE  
COMPREHENSIVE AGREEMENT**

Tab K  
12/7/2012

Description	Cost	C.A. Date	DRAW 1	DRAW 2	DRAW 3	DRAW 4	DRAW 5	DRAW 6	DRAW 7	DRAW 8	DRAW 9	DRAW 10
Interim Agreement	303,324											
Stework/ Building	7,683,414											
Soft cost	2,013,257		529,656	230,899	58,899	71,299	183,899	218,398	90,299	67,182	384,171	384,171
<b>TOTAL COST</b>	<b>9,999,995</b>		<b>529,656</b>	<b>230,899</b>	<b>58,899</b>	<b>71,299</b>	<b>183,899</b>	<b>218,398</b>	<b>90,299</b>	<b>67,182</b>	<b>454,070</b>	<b>447,470</b>
Beginning balance		303,324	303,324	832,980	1,063,879	1,122,778	1,194,077	1,377,976	1,596,374	1,686,673	1,753,855	2,207,925
Draw			529,656	230,899	58,899	71,299	183,899	218,398	90,299	67,182	454,070	447,470
Ending balance			832,980	1,063,879	1,122,778	1,194,077	1,377,976	1,596,374	1,686,673	1,753,855	2,207,925	2,655,395
<b>Soft Cost Breakdown</b>												
Developer profit and overhead	744,583		83,299	38,899	38,899	38,899	38,899	38,899	38,899	38,899	38,899	38,899
Legal	20,000		5,000			5,000			5,000			
Planning and design coordination	350,000		200,000	150,000								
Consulting - permit period	45,000		5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	
Civil engineering	153,590		61,515	10,000	5,000	8,000	40,000	11,075	5,000	3,000	1,000	1,000
Architecture / engineering	543,084		164,842	25,000	10,000	10,000	100,000	86,424	32,000	20,283	15,000	9,000
Materials testing/certification	40,000											
Survey/as built	10,000		2,000								10,000	10,000
Permits-Hanover County /VDOT	4,000							4,000				
Water sewer fees												
SWM fee	63,000							63,000				
Bonds/ L.O.C.- Hanover County/VDOT	10,000							10,000				
Bonds/ L.O.C.- performance												
Insurance/ license fees	30,000		8,000						4,400			4,400
<b>TOTAL</b>	<b>2,013,257.00</b>		<b>529,656</b>	<b>230,899</b>	<b>58,899</b>	<b>71,299</b>	<b>183,899</b>	<b>218,398</b>	<b>90,299</b>	<b>67,182</b>	<b>69,899</b>	<b>63,299</b>

DCIF  
DRAW SCHEDULE  
COMPREHENSIVE AGREEMENT

Description	DRAW 11	DRAW 12	DRAW 13	DRAW 14	DRAW 15	DRAW 16	DRAW 17	DRAW 18	TOTAL
Interim Agreement									
Sitework/ Building	614,673	845,176	1,536,683	1,536,683	998,844	768,341	384,171	230,502	303,324
Soft cost	58,787	51,537	55,937	51,537	51,537	55,937	56,037	48,221	7,683,414
TOTAL COST	673,460	896,712	1,592,619	1,588,219	1,050,380	824,278	440,207	278,723	2,013,257
Beginning balance	2,655,395	3,328,855	4,225,567	5,818,186	7,406,406	8,456,786	9,281,064	9,721,272	9,999,995
Draw	673,460	896,712	1,592,619	1,588,219	1,050,380	824,278	440,207	278,723	
Ending balance	3,328,855	4,225,567	5,818,186	7,406,406	8,456,786	9,281,064	9,721,272	9,999,995	9,999,995
Soft Cost Breakdown									
Developer profit and overhead	38,899	38,899	38,899	38,899	38,899	38,899	38,899	38,899	744,583
Legal	5,000								20,000
Planning and design coordination									350,000
Consulting - permit period									45,000
Civil engineering	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	153,590
Architecture / engineering	8,888	8,888	8,888	8,888	8,888	8,888	8,888	8,322	543,084
Materials testing/certification	5,000	2,750	2,750	2,750	2,750	2,750	1,250		40,000
Survey/as built							6,000		10,000
Permits -Hanover County /VDOT									4,000
Water sewer fees									
SWM fee									
Bonds/ L.O.C.- Hanover County/VDOT									63,000
Bonds/ L.O.C.- performance									10,000
Insurance/ license fees			4,400			4,400			30,000
TOTAL	58,787	51,537	55,937	51,537	51,537	55,937	56,037	48,221	2,013,257.00